

PENNSYLVANIA ADULT AND TEEN CHALLENGE

INTERIOR RENOVATION AND ALTERATIONS

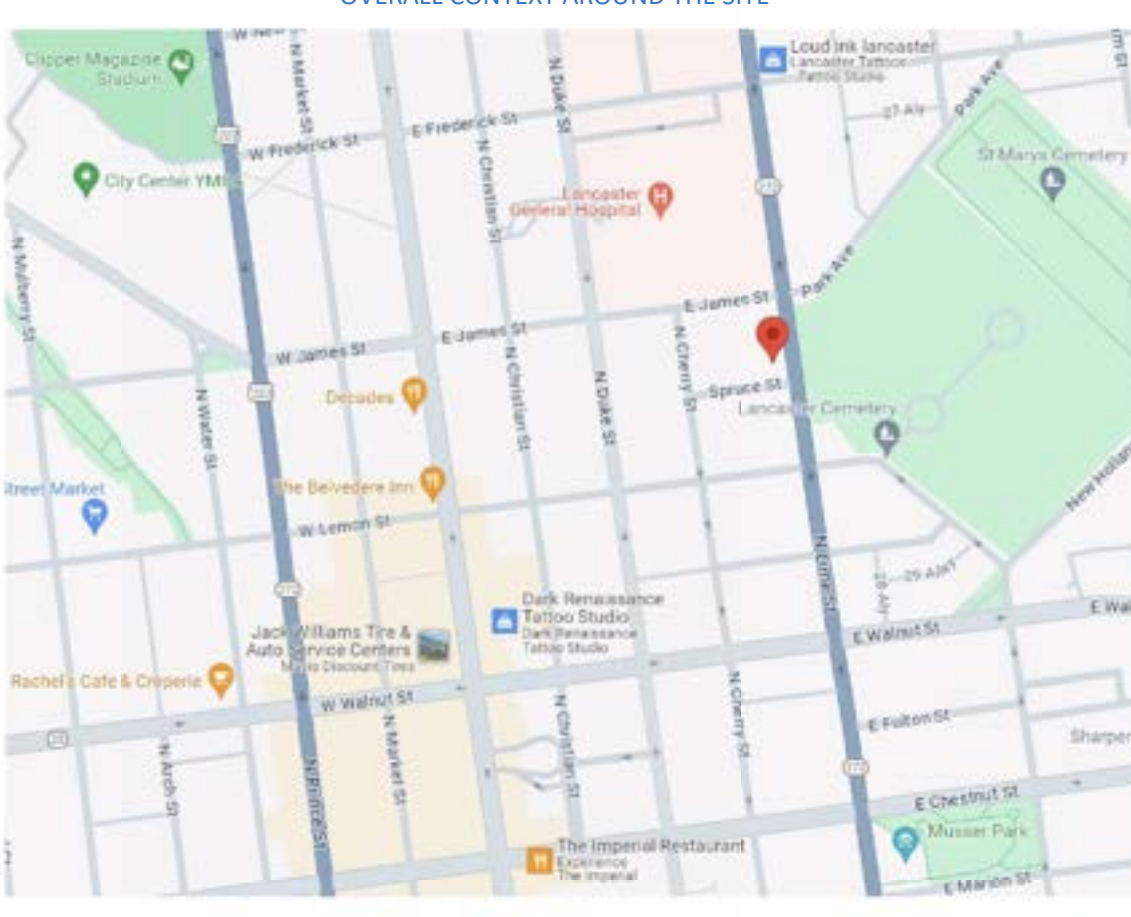
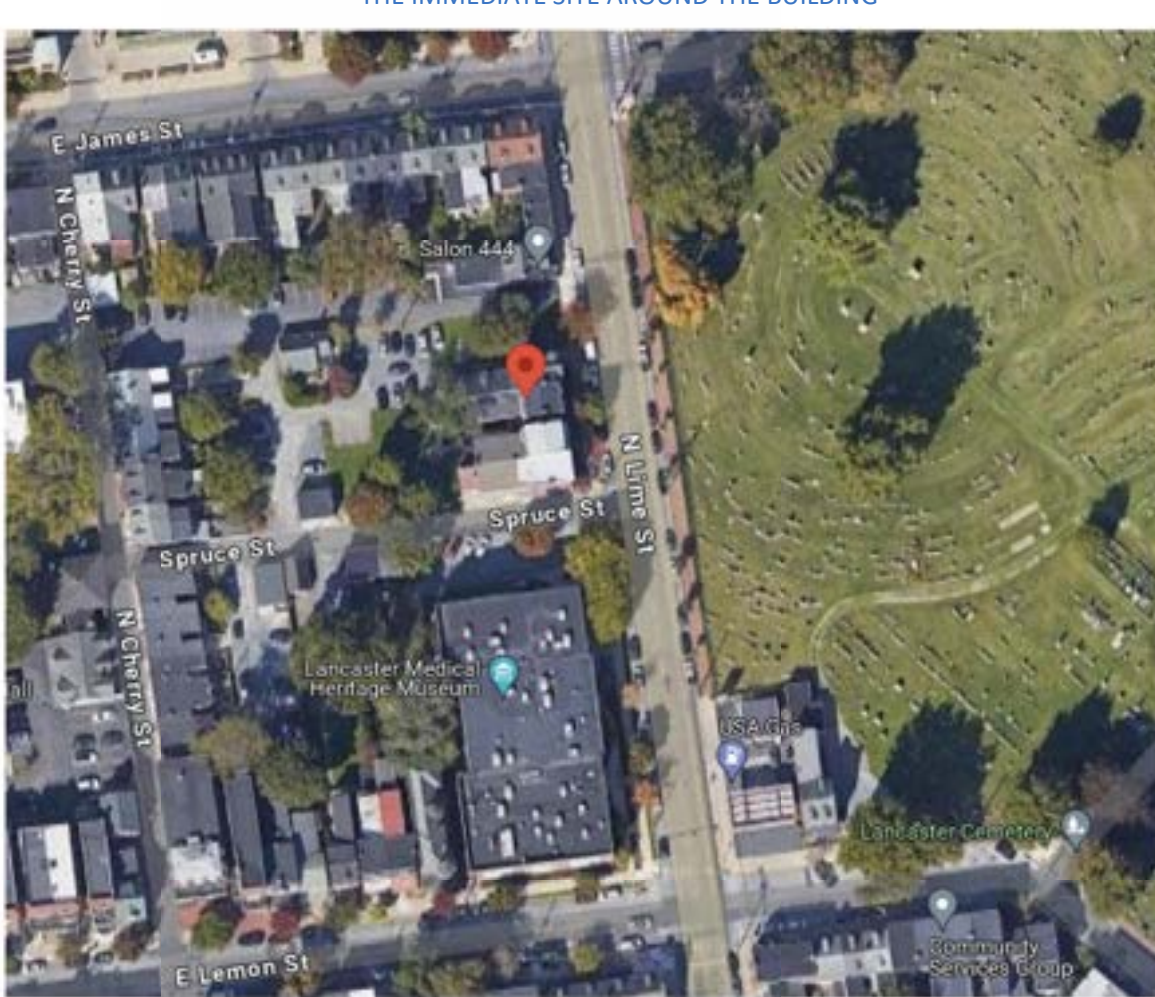

IN
LANCASTER CITY

436 NORTH LIME STREET
LANCASTER, PENNSYLVANIA 17602

PROJECT TEAM

OWNER PA ADULT AND TEEN CHALLENGE 33 TEEN CHALLENGE ROAD REHERSBURG, PENNSYLVANIA 19550 717.893.4191 DANIEL NEISSER - DANIELNEISSER62@GMAIL.COM	ARCHITECT CORNERSTONE DESIGN ARCHITECTS 48-50 WEST CHESTNUT STREET, SUITE 400 LANCASTER, PENNSYLVANIA 17603 717.435.1800 (PA) 717.435.1801 RYAN GRIFFITH - RGRIFTH@CORNERSTONEDESIGN.COM	CONTRACTOR TBD, BY OWNER.	GENERAL NOTE: MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WILL BE DELEGATED DESIGN AND ARE NOT COVERED IN THIS SET OF DOCUMENTATION.
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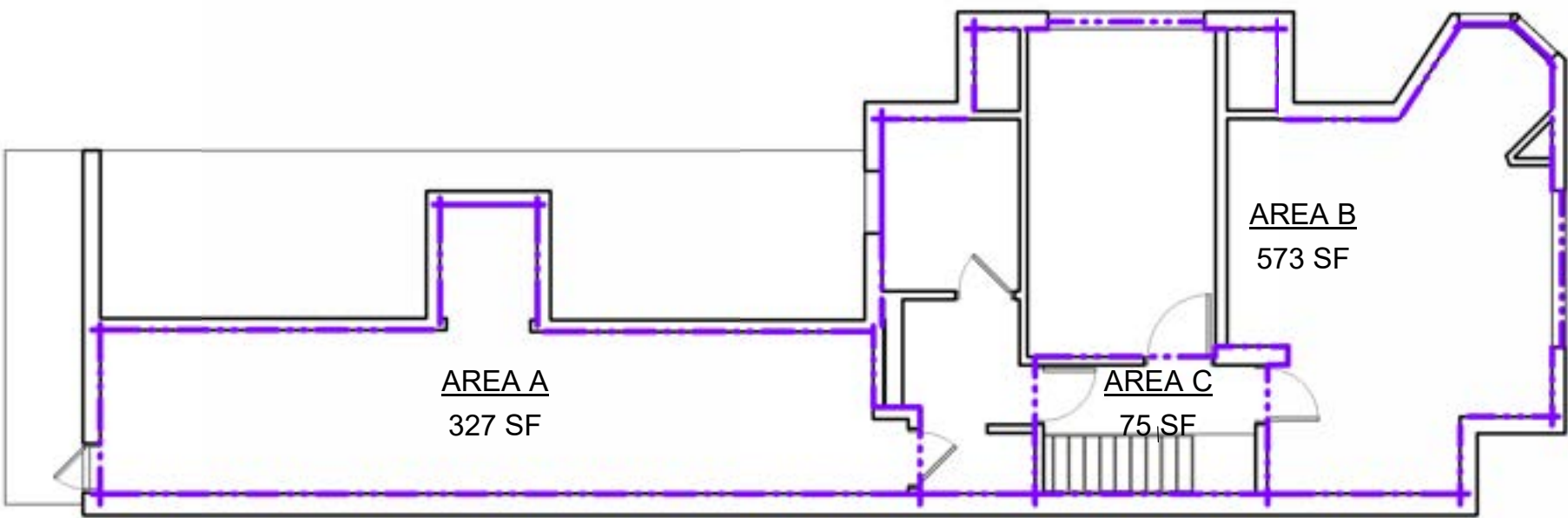
OWNER'S CONSULTANTS:
OWNER CONSULTANT INFORMATION IS INCLUDED FOR CONVENIENCE PURPOSES ONLY AND IS NOT WORK OF CORNERSTONE DESIGN ARCHITECTS.
THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OF THE WORK PROVIDED OR COORDINATION OF ITEMS PROVIDED BY THE OWNER'S CONSULTANTS.

APPLICABLE CODES		VICINITY MAP		SITE MAP		PROJECT OVERVIEW		LIST OF DRAWINGS																								
<p>APPLICABLE CODE IN TOWNSHIP, STATE</p> <p>2018 INTERNATIONAL BUILDING CODE (IBC)</p> <p>CHAPTER 1 IS REPLACED WITH PA UNIFORM CONSTRUCTION CODE (UCC) CHAPTER 403</p> <p>CHAPTER 27 ELECTRICAL REQUIRES COMPLIANCE WITH NFPA 70-2017</p> <p>2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)</p> <p>2018 INTERNATIONAL RESIDENTIAL CODE (IRC) - CODE FOR ONE AND TWO FAMILY DWELLINGS NO MORE THAN 3 STORIES IN HEIGHT</p> <p>2009 ICC/ANSI A117.1 (ACCESSIBILITY)</p> <p>2018 INTERNATIONAL FIRE CODE (IFC) - ADOPTED ONLY TO THE EXTENT REFERENCED IN CHAPTER 35 OF 2018 IBC</p> <p>2018 INTERNATIONAL MECHANICAL CODE (IMC)</p> <p>2018 INTERNATIONAL PLUMBING CODE (IPC)</p> <p>2018 NATIONAL ELECTRICAL CODE (NFPA 70-2017)</p> <p>2018 INTERNATIONAL FUEL GAS CODE (IFGC) - LPG REQUIREMENTS ARE SUPERSEDED BY THE REQUIREMENTS OF THE PA PROPANE AND LIQUEFIED PETROLEUM GAS ACT</p> <p>2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)</p>		<p>USE AN AERIAL PHOTO SHOWING THE OVERALL CONTEXT AROUND THE SITE</p> 		<p>USE AN AERIAL PHOTO OR CIVIL DRAWING TO SHOW THE IMMEDIATE SITE AROUND THE BUILDING</p> 		<p>SUMMARY OF WORK:</p> <p>INTERIOR RENOVATION WORK TO EXISTING BUILDING TO ISOLATE STAIRS. INTENT IS TO IMPROVE LIFE-SAFETY PERFORMANCE OF BUILDING PER FINDINGS OF IBC CHAPTER 13 PERFORMANCE COMPLIANCE REVIEW SO THAT EXISTING OFFICES CAN BE CONVERTED TO SLEEPING ROOMS. NO SPRINKLERS ARE PRESENT OR TO BE ADDED. THERE IS NO EXTERIOR WORK OR OWRK AT THE BASEMENT OR ROOF LEVELS. THERE IS NO WORK AT THE BATHROOMS. THERE IS NO MEP WORK SHOWN IN THIS SET OF DOCUMENTS.</p>				<table><thead><tr><th colspan="3">ARCHITECTURAL</th></tr><tr><th>NUMBER</th><th>SHEET NAME</th><th>REVISION DATE</th></tr></thead><tbody><tr><td>CS</td><td>COVER SHEET</td><td></td></tr><tr><td>A002</td><td>LIFE SAFETY SCHEDULES & AREA PLANS</td><td></td></tr><tr><td>A010</td><td>UL NUMBERS</td><td></td></tr><tr><td>A101</td><td>DEMOLITION/ ALTERATION AND PROPOSED/ ENLARGED FLOOR PLANS</td><td></td></tr><tr><td>A501</td><td>DOOR & HARDWARE SCHEDULE, DOOR & FRAME TYPES</td><td></td></tr></tbody></table>		ARCHITECTURAL			NUMBER	SHEET NAME	REVISION DATE	CS	COVER SHEET		A002	LIFE SAFETY SCHEDULES & AREA PLANS		A010	UL NUMBERS		A101	DEMOLITION/ ALTERATION AND PROPOSED/ ENLARGED FLOOR PLANS		A501	DOOR & HARDWARE SCHEDULE, DOOR & FRAME TYPES	
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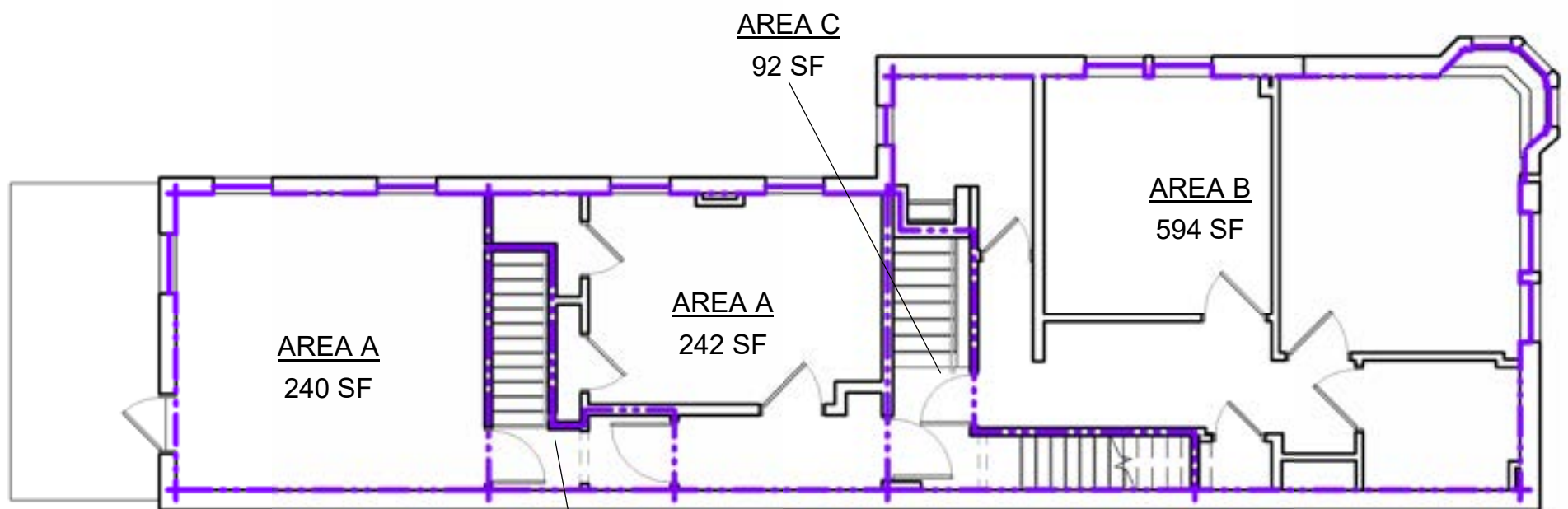
BUILDING INFORMATION												
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BUILDING CLASSIFICATION INFORMATION					EXISTING BUILDING INFORMATION		IBC ALLOWABLE AREA & HEIGHT CONSTRAINTS (TABLE 506.2, 509.3 & 506.4)			PROVIDED BUILDING STORIES AND HEIGHT		
NAME	PRIMARY OCCUPANCY	NON-SEPARATED OCCUPANCIES	CONSTRUCTION TYPE	NFPA 13 SPRINKLER SYSTEM	EXISTING NFPA 13 SPRINKLER SYSTEM	EXISTING FIRE ALARM	TABULAR ALLOWABLE (A)	ALLOWABLE HEIGHT	ALLOWABLE NUMBER OF STORIES	BASEMENT (YES/NO)	PROVIDED NUMBER OF STORIES	PROVIDED HEIGHT
AREA A	B	NONE	IIIB	No	No	Yes	19000 SF	55'-0"	4	Yes	4	46'-0"

AREA CALCULATIONS												
2018 INTERNATIONAL BUILDING CODE (SECTION 506)												
EQUATION 5-5: (F/P - 0.25) x W/30 = If					EQUATION 5-2: At + (NS x If) x Sa - Aa							
NAME	PERIMETER FRONTING A PUBLIC WAY (F)	TOTAL BUILDING PERIMETER (P)	MIN. OPEN SPACE (30' MAX) (W)	AREA FACTOR INCREASE (If)	NFPA 13 SPRINKLER SYSTEM	IBC ALLOWABLE AREA CONSTRAINTS (TABLE 506.2) TABULAR ALLOWABLE AREA (A)	TABULAR ALLOWABLE AREA NONSPRINKLERED (NS)	ALLOWABLE AREA PER FLOOR	PROVIDED NUMBER OF STORIES (Sa)	TOTAL BUILDING ALLOWABLE AREA (Aa)		
AREA A	23	201.5	30	-0.135856	No	19000 SF	19000 SF	16419 SF	4	65675 SF		

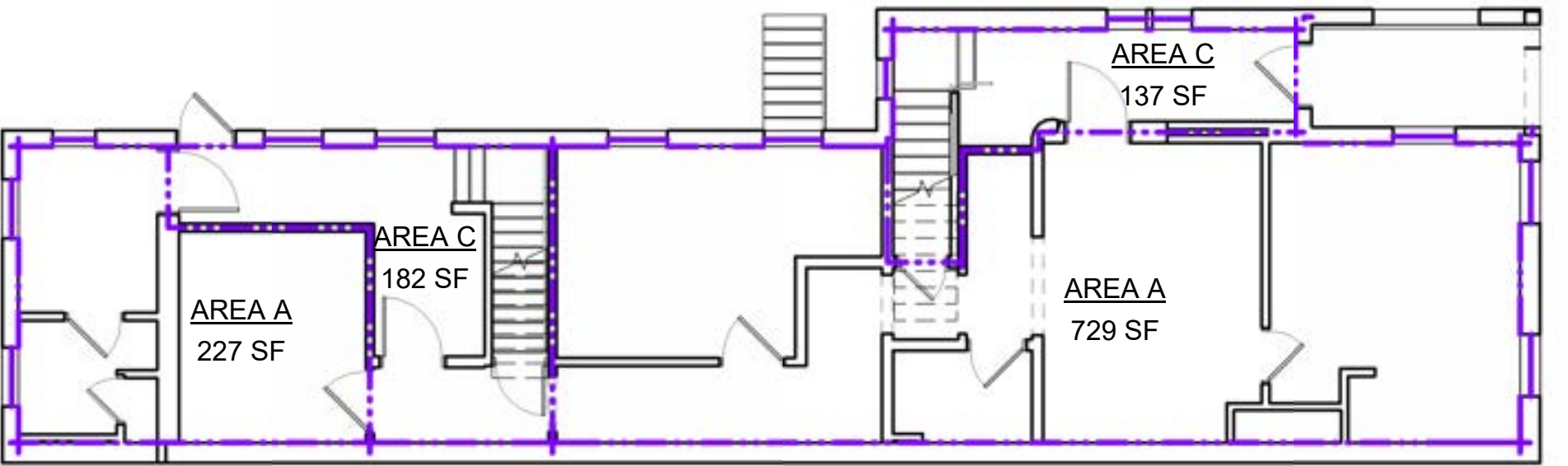
BUILDING AREA CALCULATIONS					
PER FLOOR					
NAME	LEVEL	BUILDING PERIMETER	ACTUAL FLOOR AREA	<	TOTAL ALLOWABLE AREA PER FLOOR
AREA A	BASEMENT AREA PLAN	177'-2"	1353 SF	PASS	16419 SF
AREA A	FIRST FLOOR AREA PLAN	193'-8"	1446 SF	PASS	16419 SF
AREA A	SECOND FLOOR AREA PLAN	180'-10"	1388 SF	PASS	16419 SF
AREA A	THIRD FLOOR AREA PLAN	201'-9"	1133 SF	PASS	16419 SF
TOTAL BUILDING ALLOWABLE AREA (Aa)					



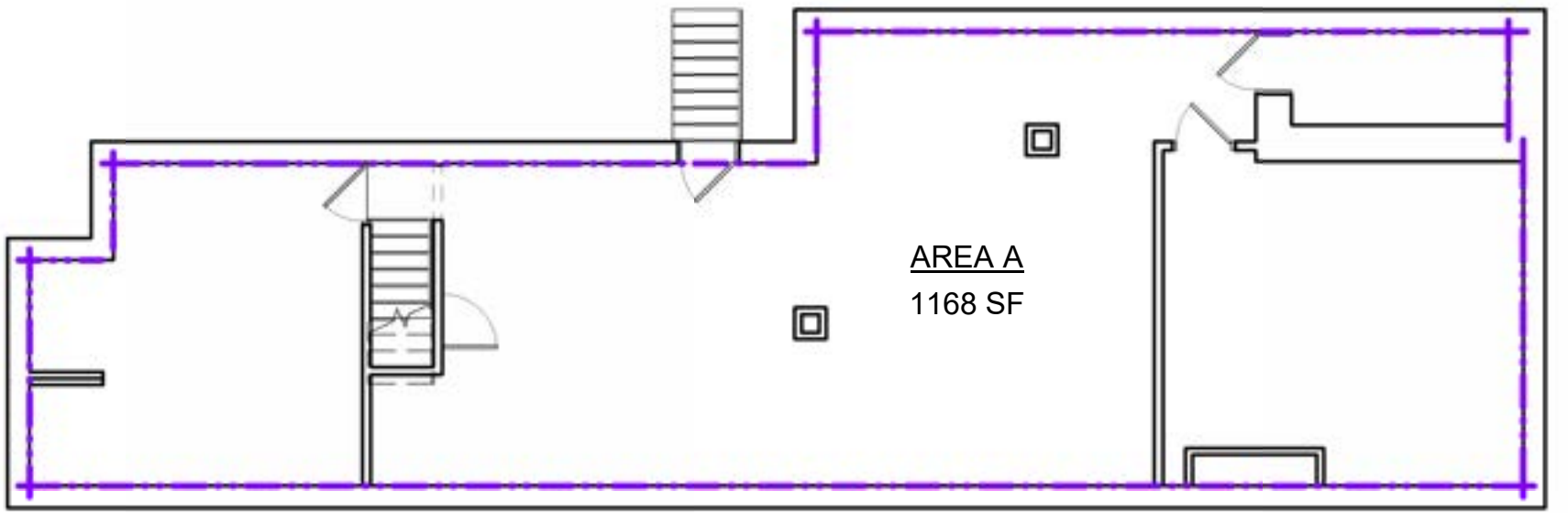
4 THIRD FLOOR AREA PLAN
SCALE : 1/8" = 1'-0"



3 SECOND FLOOR AREA PLAN
SCALE : 1/8" = 1'-0"



2 FIRST FLOOR AREA PLAN
SCALE : 1/8" = 1'-0"



1 BASEMENT AREA PLAN
SCALE : 1/8" = 1'-0"

APPLICABLE CODES

APPLICABLE CODE IN TOWNSHIP, STATE

2018 INTERNATIONAL BUILDING CODE (IBC)
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CHAPTER 403
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2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)



PROGRESS PRINT

PROJECT
PENNSYLVANIA
ADULT AND TEEN
CHALLENGE
INTERIOR RENOVATION
AND ALTERATIONS

DISCLAIMERS
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2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SECTION	DESCRIPTION	VALUE
	Existing Occupancy	B
	Proposed Occupancy (For Tables + Calculations)	B-3
	Proposed Occupancy (Specific Type)	IIIB
	Type of Construction	4
	Year Building Was Constructed	1893
1301.6.1	Number of Stories	4
	Height in Feet	46
1301.6.2	Area per Floor	1,558
	Percentage of Open Perimeter Increase	6400%
1301.6.3	Compartimentation	No
	Compartimentation	Yes
1301.6.5	Corridor Wall Rating	0
	Required Door Closers	Yes
1301.6.6	Fire-Resistance Rating of Vertical Opening Enclosures	0
1301.6.7	Category of HVAC System	5
	Serving Number of Floors	4
1301.6.8	Automatic Fire Detection	Yes
	Category and Location	Yes
1301.6.9	Fire Alarm System	0
	Category	Yes
1301.6.10	Smoke Control	3
	Category	Yes
1301.6.11	Adequate Exit Routes	No
1301.6.12	Dead Ends	No
1301.6.13	Maximum Exit Access Travel Distance	Yes
1301.6.14	Elevator Controls	No
1301.6.15	Means of Egress Emergency Lighting	No
1301.6.16	Mixed Occupancies	Yes
1301.6.18	Standpipes	No
1301.6.19	Incidental Use	No
1301.6.20	Smoke Compartmentation Less Than 22,500 Sq. Feet (2,092 m ²)	Yes
1301.6.21.1	Patient Ability for Self-Preservation	0-2 Only
1301.6.21.2	Patient Concentration	0-2 Only
1301.6.21.3	Attendant to Patient Ratio	0-2 Only
1301.6.21.4	Building Height Equation 13-3: Height Value, Feet = [(AH - EBH) / 12.5] x CF	0-3
	Building Height Equation 13-2: Height Value, Stories = [(AS - EBH) + CE]	0-0
	Allowable Height (AH)	55.5
	Existing Building Height (EBH)	46.0
1301.6.1	Allowable Height in Stories (AS)	4
	Existing Building Height in Stories (EBH)	4
	Constructive Factor (CF)	-1 if AH - BH is positive CF shown in Table 1301.6.4(2) if AH - EBH is negative.
	Building Area Equation 13-3: Allowable Building Area per Story (A _B) = A _B x (1)	16,064
	Tabular Allowable Area Factor (A _F) - IBC Table 506.2 - Tabular (SF)	16,000
1301.6.2	Tabular Allowable Area Factor (NS) - IBC Table 506.2	1
	Area Factor Increase Due to Frontage (I _F) - Frontage (SF)	1400.0%
	Building Area Equation 13-4: Area Value, = Allowable Area / 1,200 SF x (1 - (Actual Area / Allowable Area, + Actual Area, / Allowable Area,))	9.0
	Actual Area	4,361

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SECTION	DESCRIPTION	VALUE
1301.6.14	Elevator Controls	0
	a. No elevator.	0
1301.6.15	Means of Egress Emergency Lighting	1
	Minimum of one exit	0
	b. Means of egress lighting and exit signs provided with emergency power in accordance with Section 2702 of the IBC.	0
1301.6.16	Mixed Occupancies	30
	a. Occupancies separated by minimum 1-hour fire barriers or minimum 3-hour horizontal assemblies, or both.	0
1301.6.17	Standpipes	4
	a. Standpipes are required; standpipe is not provided or the standpipe system design is not adequate for the hazard protected in accordance with Section 903 of the IBC.	0
1301.6.18	Incidental Use	0
	None	0
1301.6.19	Smoke Compartmentation Less Than 22,500 Sq. Feet (2,092 m ²)	0
	a. Smoke compartment size is equal to or less than 22,500 square feet (2,092 m ²).	0

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SECTION	DESCRIPTION	VALUE
1301.6.3	Compartmentation (Table 1301.6.3)	22
	b. Compartment size of 2,500 square feet or less	0
1301.6.4	Separation Value (Table 1301.6.4)	0
	c. Fire partitions with 1-hour or greater fire-resistance ratings constructed in accordance with Section 708 of the IBC and floor assemblies with 1-hour but less than 2-hour fire-resistance ratings constructed in accordance with Section 711 of the IBC.	0
1301.6.5	Corridor Wall Rating (Table 1301.6.5)	0
	c. 1-hour to less than 2-hour fire-resistance rating, with doors conforming to Section 716 of the IBC or without corridors as permitted by Section 1020 of the IBC.	0
1301.6.6	Vertical Opening Enclosure 13.3.1: V ₁ = P ₁ x CF	2.0
	Protection Value from Table 1301.6.6(1) (PV)	1
	1 to less than 2 hours: 1	3.5
	Construction Type Factor from Table 1301.6.4(2) (CF, 2)	5
1301.6.7	HVAC System Category (Table 1301.6.7.1)	5
	e. Systems serving one story; or a central boiler/chiller system without ductwork connecting two or more stories.	6
1301.6.8	Detection Type & Location (Table 1301.6.8)	6
	e. Smoke detectors installed throughout the floor area.	0
1301.6.9	Fire Alarm System	0
	c. Fire alarm system in accordance with Section 907 of the IBC.	3
1301.6.10	Smoke Control Method	3
	d. One smokeproof enclosure and the building has openings in accordance with Category b.	0
1301.6.11	Adequate Exit Routes	0
	b. Capacity of the means of egress complies with Section 1005 of the IBC, and the number of exits complies with the minimum number required by Section 1006 of the IBC.	2
1301.6.12	Dead Ends	2
	c. No dead ends; or ratio of length to width (L/W) is less than 2.5:1.	16.9
1301.6.13	Maximum Exit Access Travel Distance Equation 13-4: Points = 20 x [(Maximum Allowable Travel Distance - Maximum Actual Travel Distance) / Maximum Allowable Travel Distance]	32
	Maximum Exit Access Travel Distance (MaxAllowableTD)	200
	Maximum Actual Travel Distance (MaxActualTD)	32

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
1301.6.1 Building Height	0.7	0.7	0.7
1301.6.2 Building Area	0.0	0.0	0.0
1301.6.3 Compartmentation	22.0	22.0	22.0
1301.6.4 Travel and Egress Unit Separators	0.0	0.0	0.0
1301.6.5 Corridor Walls	0.0	0.0	0.0
1301.6.6 Vertical Opening	2.0	2.0	2.0
1301.6.7 HVAC Systems	5.0	5.0	5.0
1301.6.8 Automatic Fire Detection	0.0	0.0	0.0
1301.6.9 Fire Alarm System	0.0	0.0	0.0
1301.6.10 Smoke Control	3.0	3.0	3.0
1301.6.11 Means of Egress	0.0	0.0	0.0
1301.6.12 Dead Ends	2.0	2.0	2.0
1301.6.13 Maximum Exit Access Travel Distance	16.9	16.9	16.9
1301.6.14 Elevator Control	0.0	0.0	0.0
1301.6.15 Means of Egress Emergency Lighting	1.0	1.0	1.0
1301.6.16 Mixed Occupancies	30.0	30.0	30.0
1301.6.17 Automatic Sprinklers	0.0	0.0	0.0
1301.6.18 Standpipes	4.0	4.0	4.0
1301.6.19 Incidental Use	0.0	0.0	0.0
1301.6.20 Smoke Compartmentation	0.0	0.0	0.0
1301.6.21.1 Patient Ability for Self-Preservation	0-2 Only	0-2 Only	0-2 Only
1301.6.21.2 Patient Concentration	0-2 Only	0-2 Only	0-2 Only
1301.6.21.3 Attendant to Patient Ratio	0-2 Only	0-2 Only	0-2 Only
Building Score - Total Value	23.6	59.4	46.4
Mandatory Safety Score per Table 1301.8 (Occupancy: R)	23.0	38.0	38.0
Safety Score Delta	2.6	21.4	8.4
	PASS	PASS	PASS

KEY PLAN

ISSUES

MARK DATE DESCRIPTION
PROJECT PHASE

CONSTRUCTION
DOCUMENTS

PROJECT NUMBER 2024018

DATE

DRAWN BY PS

MANAGED BY PS

APPROVED BY PS

SHEET TITLE

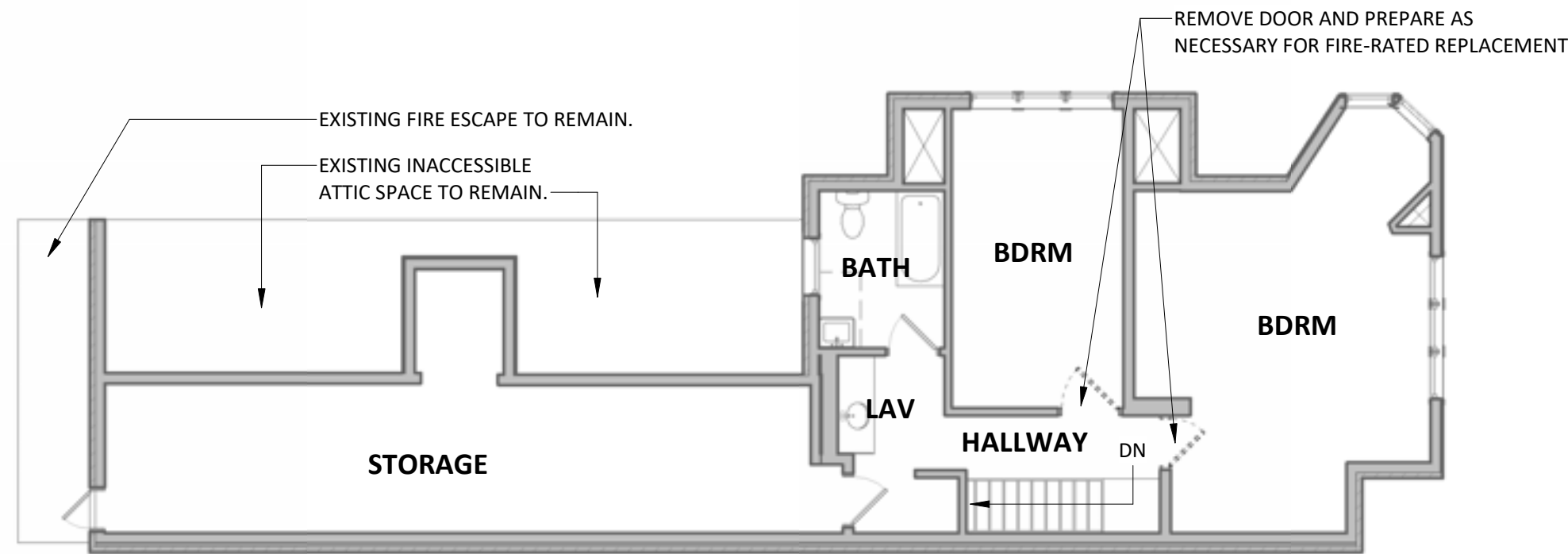
LIFE SAFETY
SCHEDULES & AREA
PLANS

SHEET NUMBER

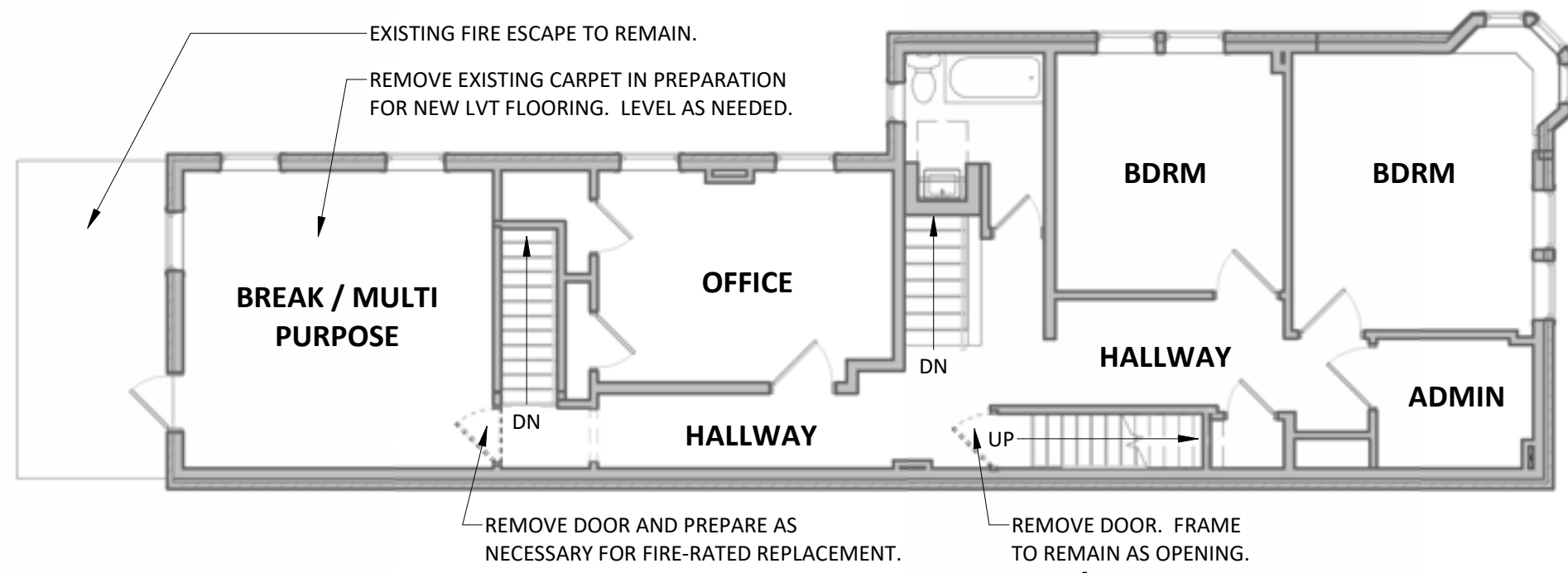
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DEMOLITION GENERAL NOTES

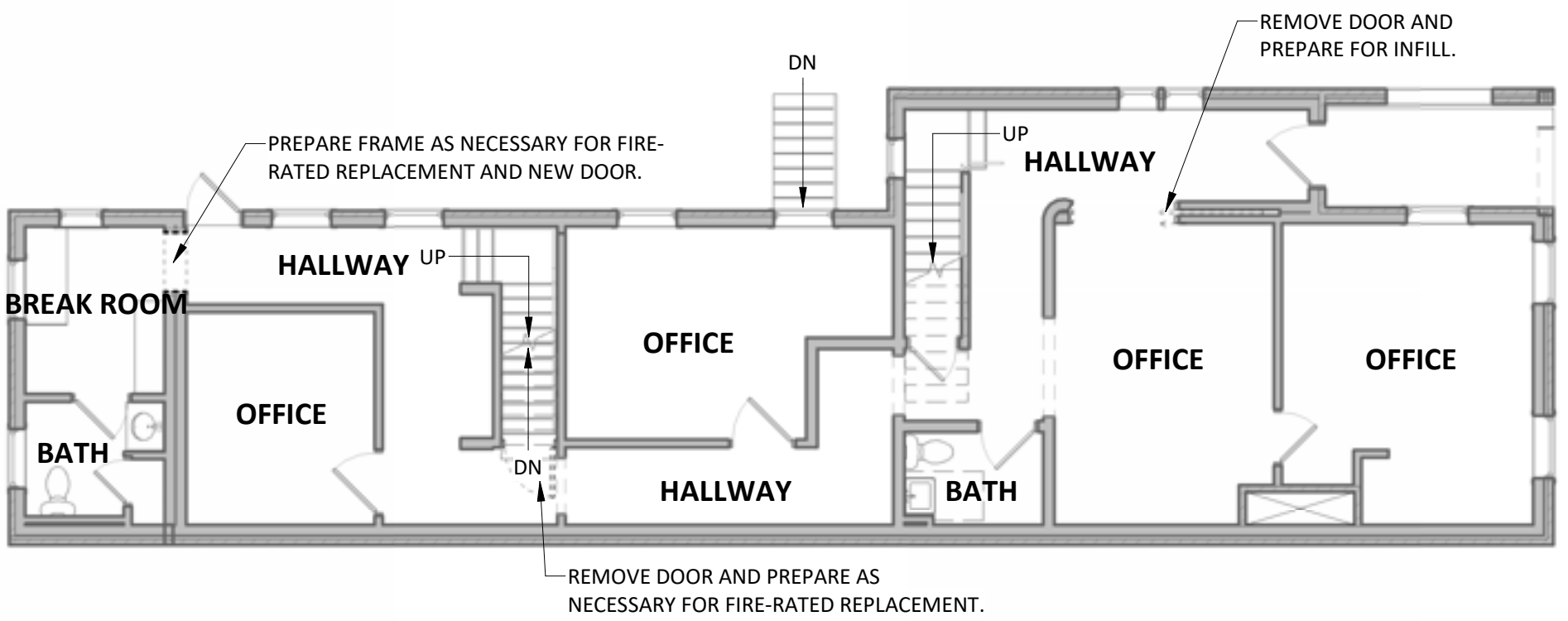
- ITEMS INDICATED TO BE DEMOLISHED SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF THE SITE BY THE RESPECTIVE CONTRACTOR.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, & FEDERAL CODES & REGULATIONS.
- CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- THE GENERAL CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR INSURING THE STRUCTURAL STABILITY OF THE EXISTING STRUCTURE IN THE AREAS INVOLVING NEW WORK OR FOR PROTECTION THE EXISTING STRUCTURE FROM DAMAGE DURING THE COURSE OF WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING SHORING, BULKHEADS, AND ANY OTHER ITEMS NECESSARY FOR PROTECTION AND STABILITY. NO WORK THAT WILL JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE DONE WITHOUT CONSULTING THE ARCHITECT.
- NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION AT EXTERIOR SURFACES SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL SECURE TEMPORARY PROTECTION IN ALL OPENINGS.
- CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AT HIS EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER OF THE PROPERTY SO DAMAGED.
- WHERE NEW OPENINGS ARE MADE OR EXISTING OPENINGS ARE INCREASED PROPER LINTELS MUST BE PROVIDED.
- EACH CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND FAMILIARIZE HIMSELF WITH THE PROVISIONS REGARDING THE REMOVAL OF EXISTING MATERIALS.
- THE RESPECTIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DEMOLITION OF EXISTING MECHANICAL, PLUMBING, ELECTRICAL AND OTHER EQUIPMENT AND OBJECTS SCHEDULED TO BE REMOVED.



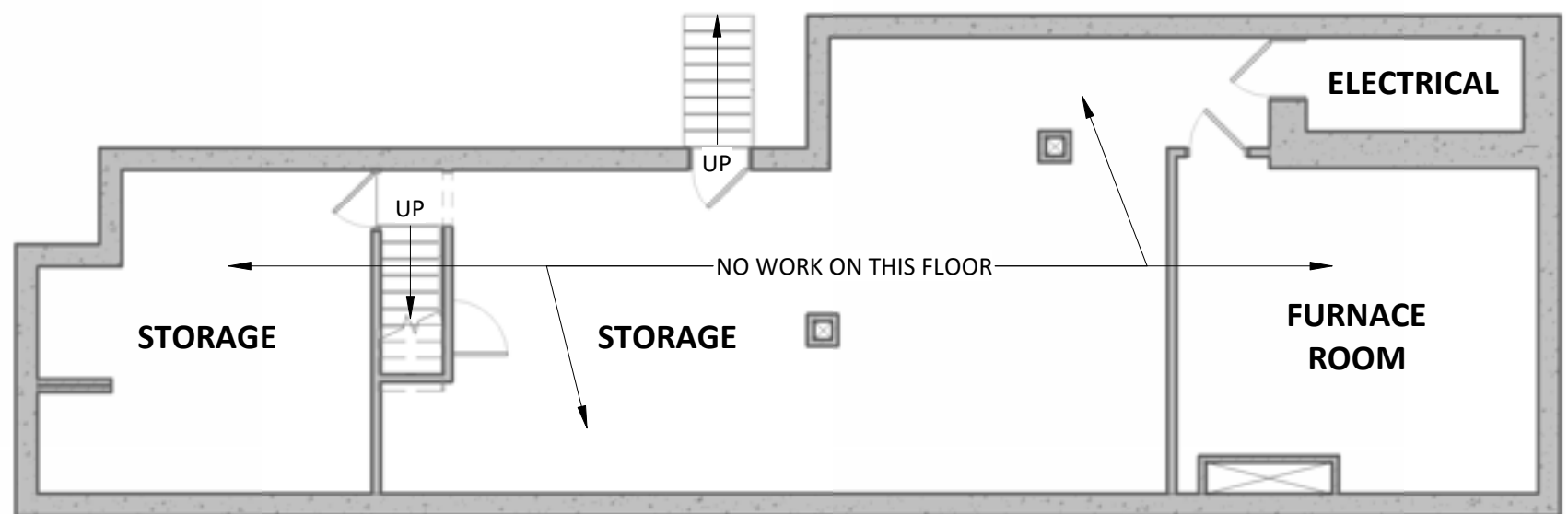
4 THIRD FLOOR DEMOLITION / ALTERATION PLAN
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR DEMOLITION / ALTERATION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION / ALTERATION PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT DEMOLITION / ALTERATION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTE: EXISTING OPENINGS BETWEEN FLOOR PLATES TO BE INFILLED WITH UL L34 AND MADE VISUALLY INDISTINGUISHABLE FROM EXISTING ADJACENT TO REMAIN.

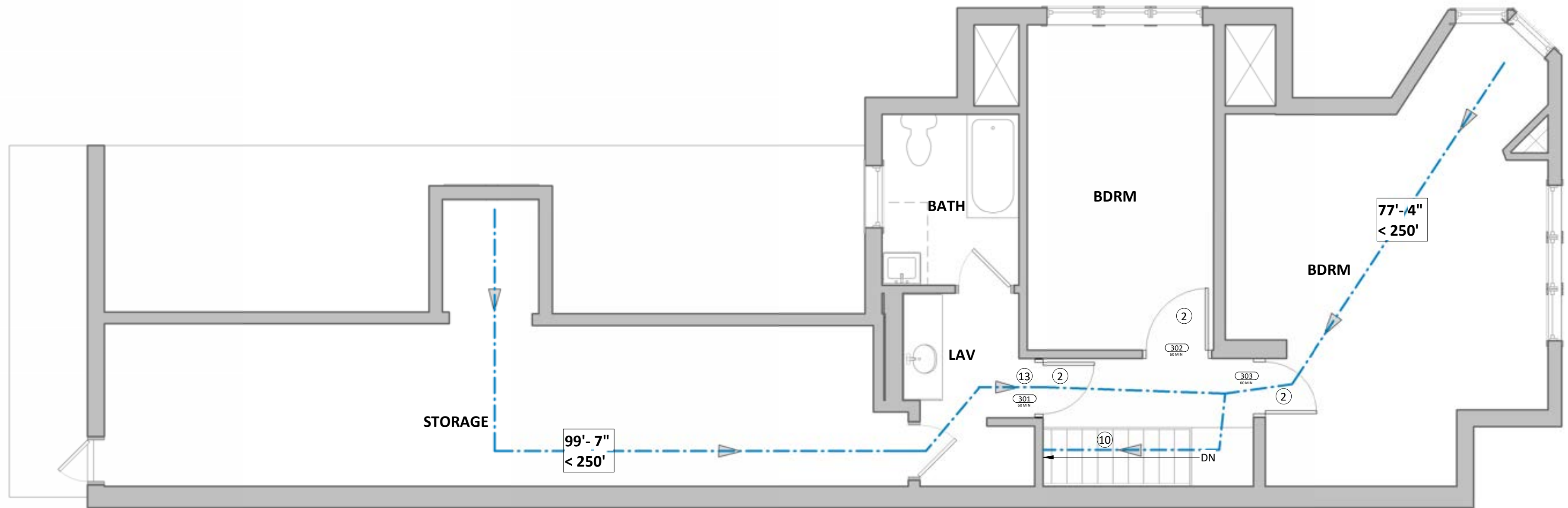
GENERAL NOTE: EXISTING FIRE EXTINGUISHERS TO REMAIN.

PLAN LEGEND

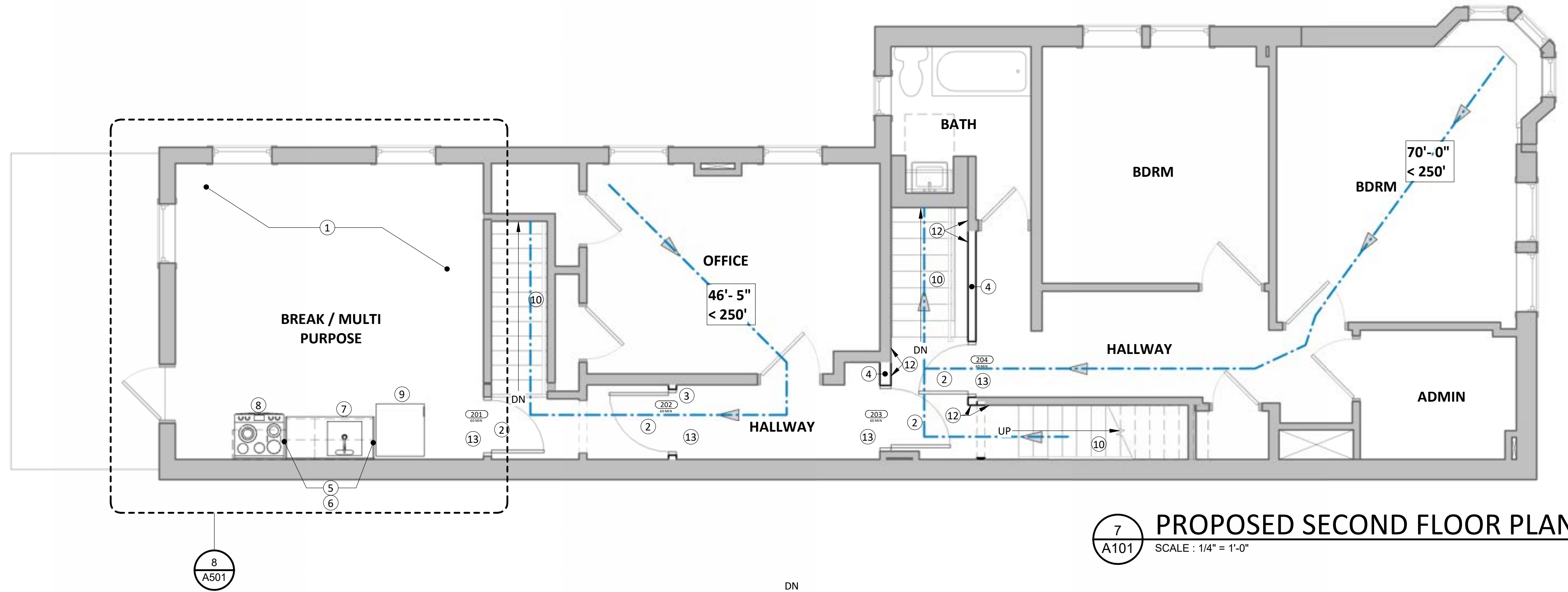
- EXISTING PARTITION TO REMAIN
- DEMOLISHED PARTITION
- NEW PARTITION
- EXISTING DOOR TO REMAIN
- NEW DOOR

PLAN KEY

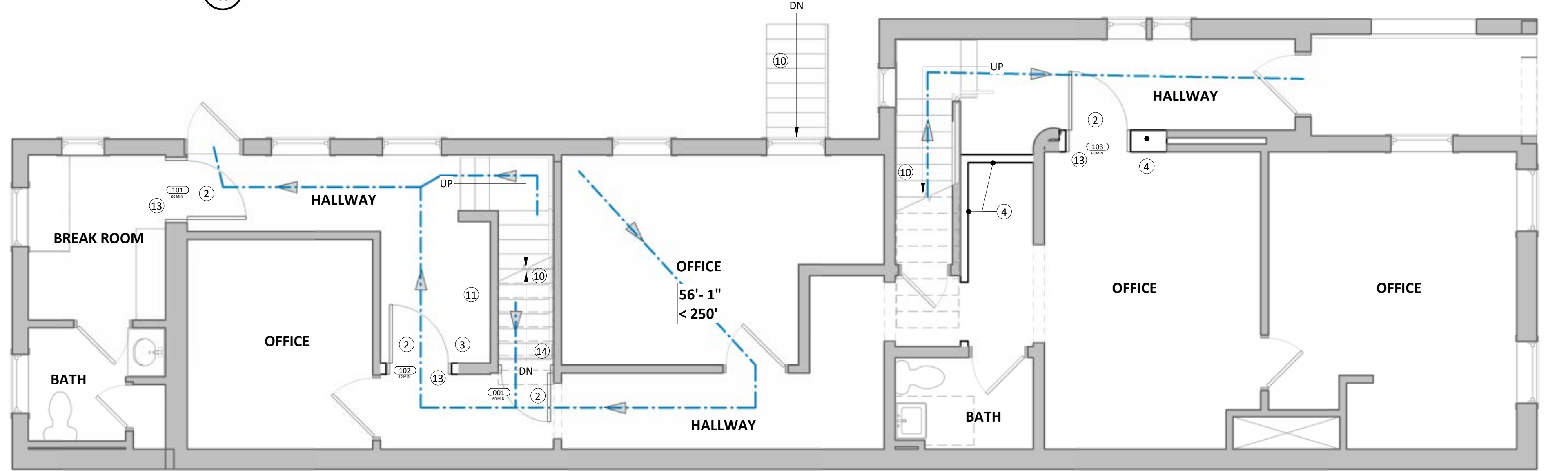
- NEW LVT FLOORING, SELECTION BY OWNER.
- NEW FIRE-RATED DOOR AND FRAME.
- NEW FIRE-RATED PARTITION BETWEEN NEW FRAME AND EXISTING PARTITIONS, USING UL U305 FOR WALL/PARTITION.
- NEW FIRE-RATED PARTITION, USING UL U305 FOR WALL/PARTITION.
- NEW BASE AND WALL CABINETRY.
- NEW COUNTERTOP, SELECTION BY OWNER.
- NEW SINK AND CONTROLS, SELECTION BY OWNER.
- NEW STOVE WITH ADA CONTROLS, SELECTION BY OWNER.
- NEW REFRIGERATOR, SELECTION BY OWNER.
- EXISTING STAIR AND HANDRAILS TO REMAIN.
- INFILL LOUVER TO MATCH ADJACENT, USING UL U305 FOR WALL/PARTITION.
- ALIGN FACE OF NEW FINISH WITH EXISTING ADJACENT TO REMAIN, AND MAKE INDISTINGUISHABLE BETWEEN EXISTING AND NEW.
- PHOTOLUMINOUS EXIT SIGN TO BE ADDED ABOVE DOOR TO MATCH EXISTING ADJACENT CONDITIONS.
- VERTICAL PHOTOLUMINOUS EXIT SIGN TO BE ADDED ON DOOR JAMB TO MATCH EXISTING ADJACENT CONDITIONS.



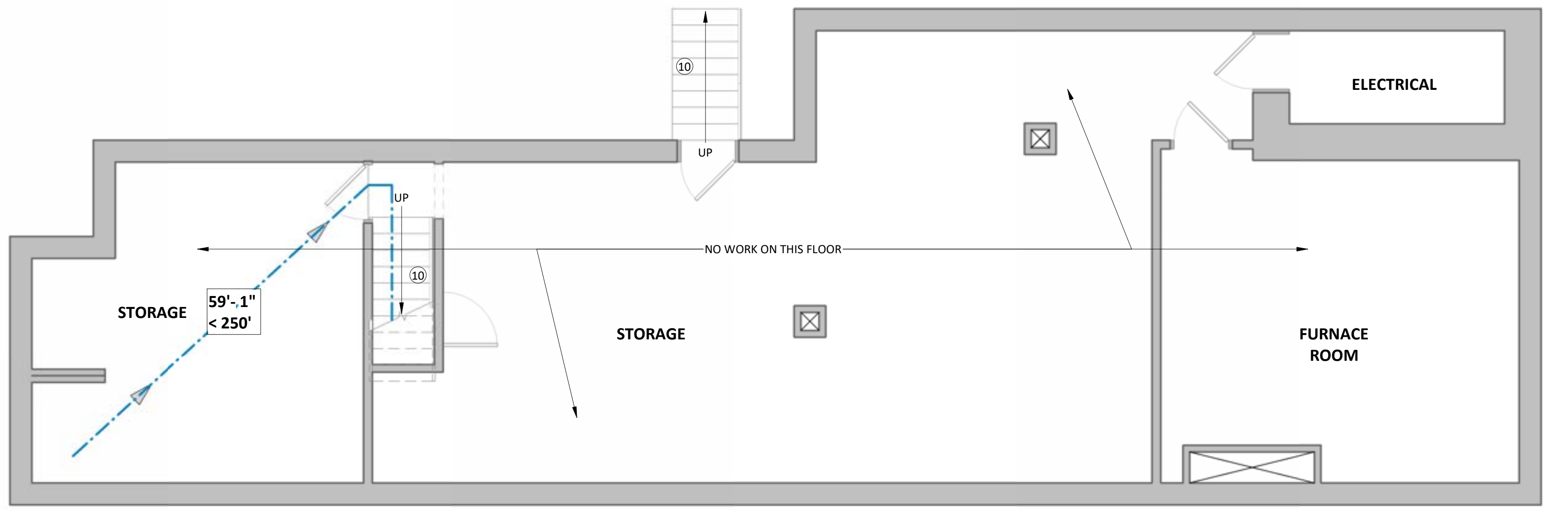
8 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



7 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

SEAL

PROGRESS
PRINT

PROJECT
PENNSYLVANIA
ADULT AND TEEN
CHALLENGE
INTERIOR RENOVATION
AND ALTERATIONS

436 NORTH LIME STREET
LANCASTER, PENNSYLVANIA 17601

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KEY PLAN

ISSUES

MARK DATE DESCRIPTION

PROJECT PHASE

CONSTRUCTION DOCUMENTS

PROJECT NUMBER 2024018

DATE

DRAWN BY

MANAGED BY

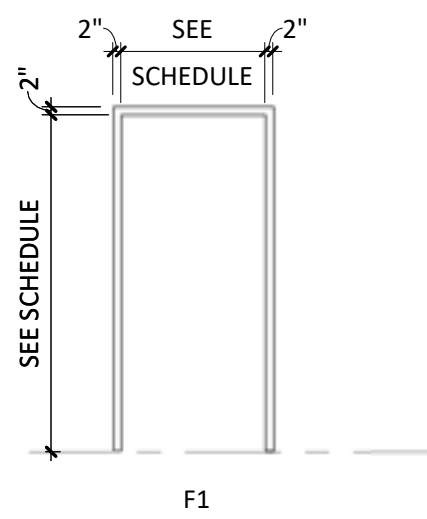
APPROVED BY

SHEET TITLE

DEMOLITION/
ALTERATION AND
PROPOSED/
ENLARGED FLOOR
PLANS

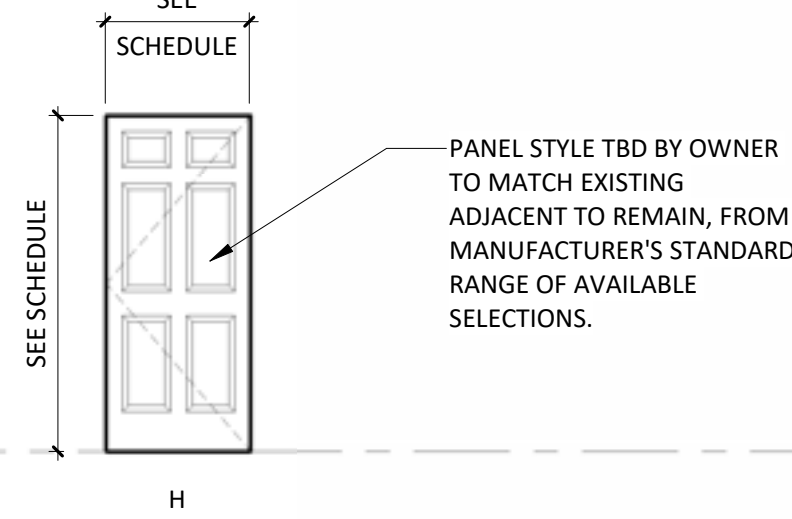
SHEET NUMBER

A101



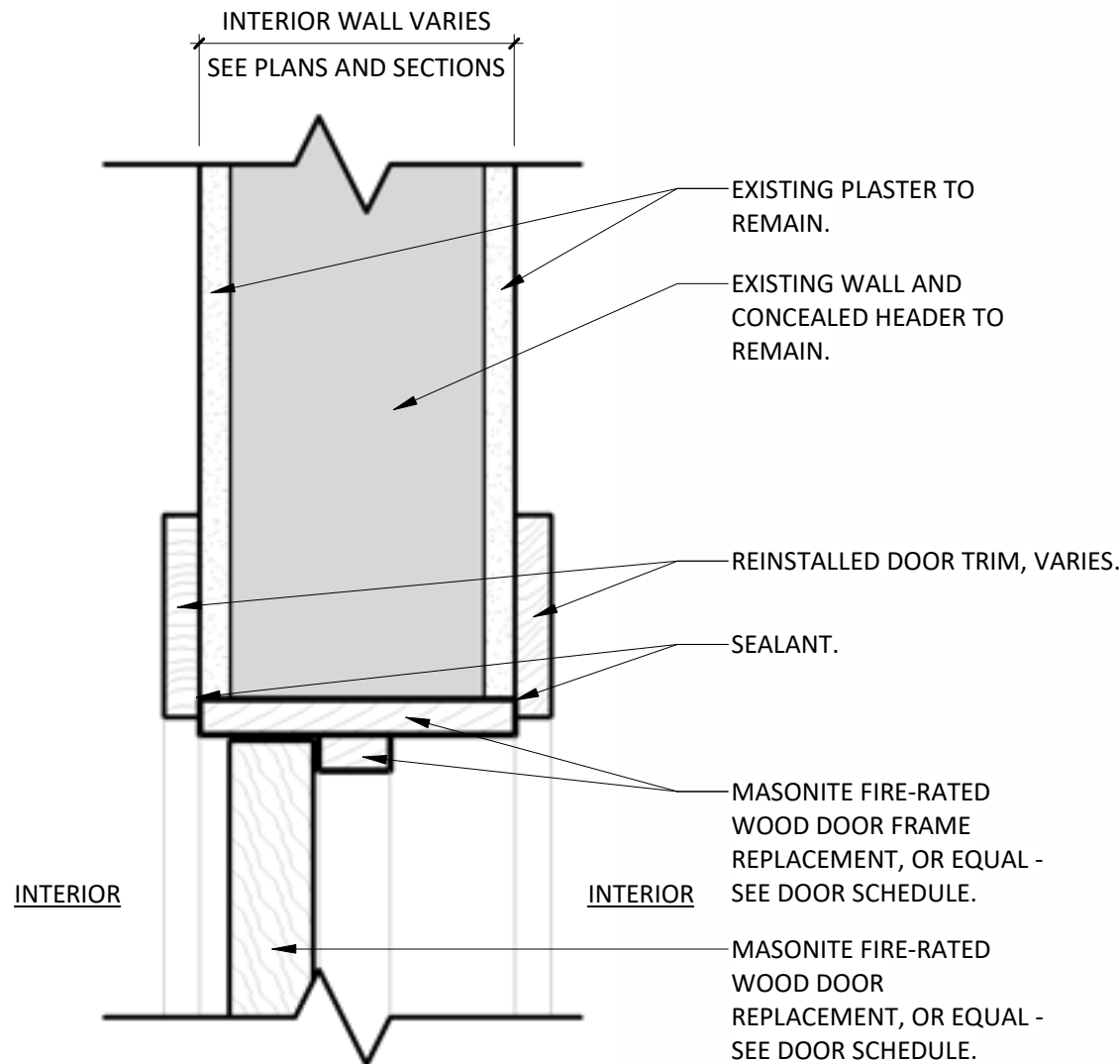
DOOR FRAME TYPES

SCALE : 1/4" = 1'-0"



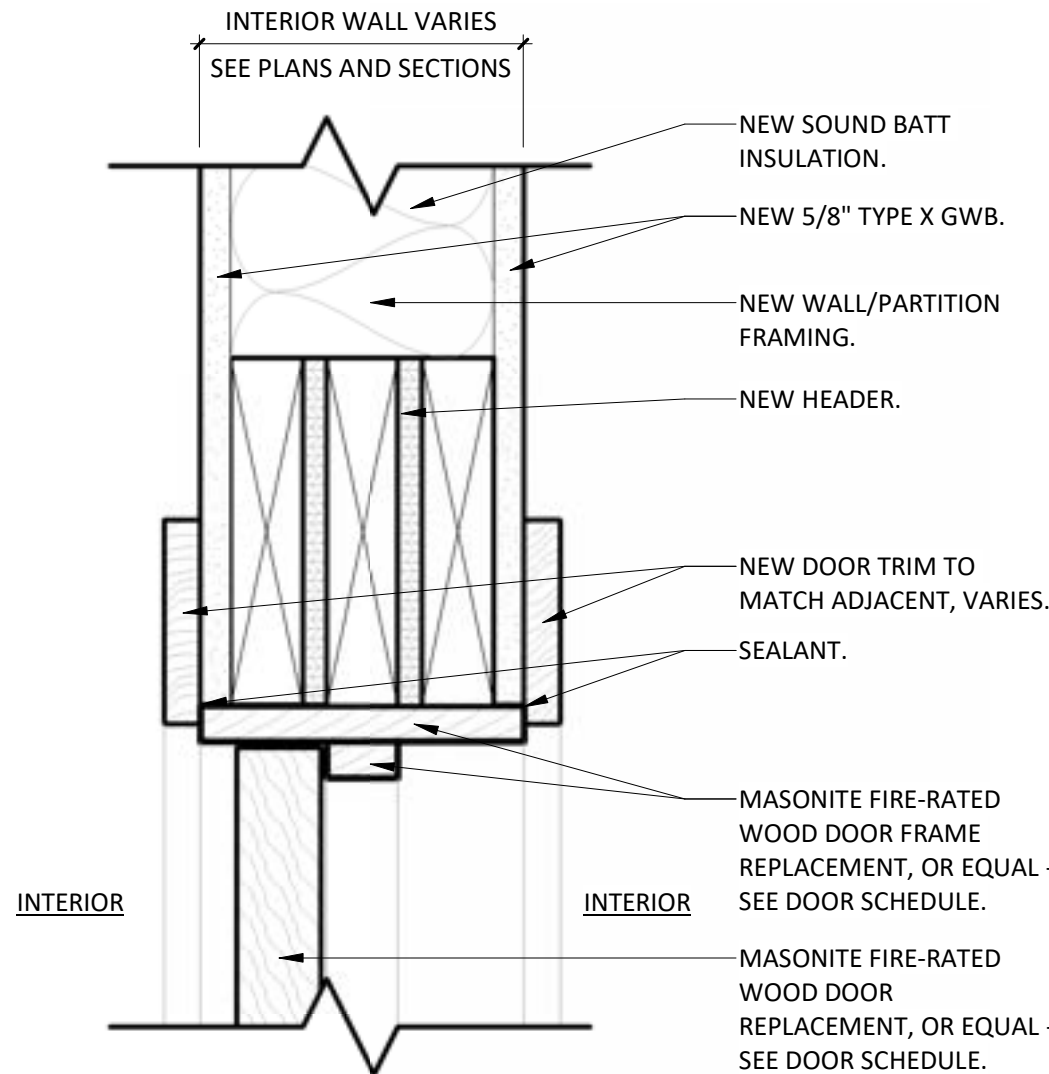
DOOR PANEL TYPES

SCALE : 1/4" = 1'-0"



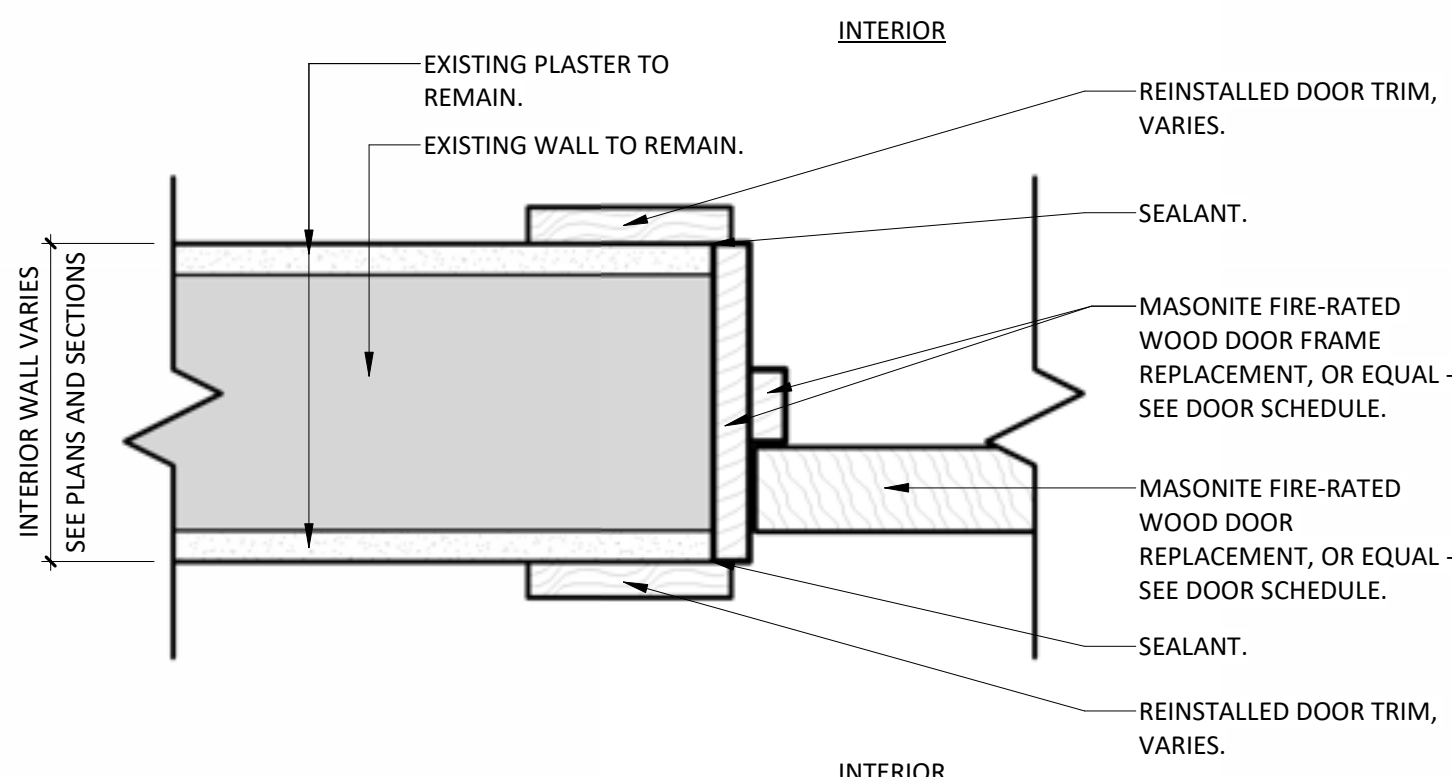
HEAD DETAIL - H1

SCALE : 3" = 1'-0"



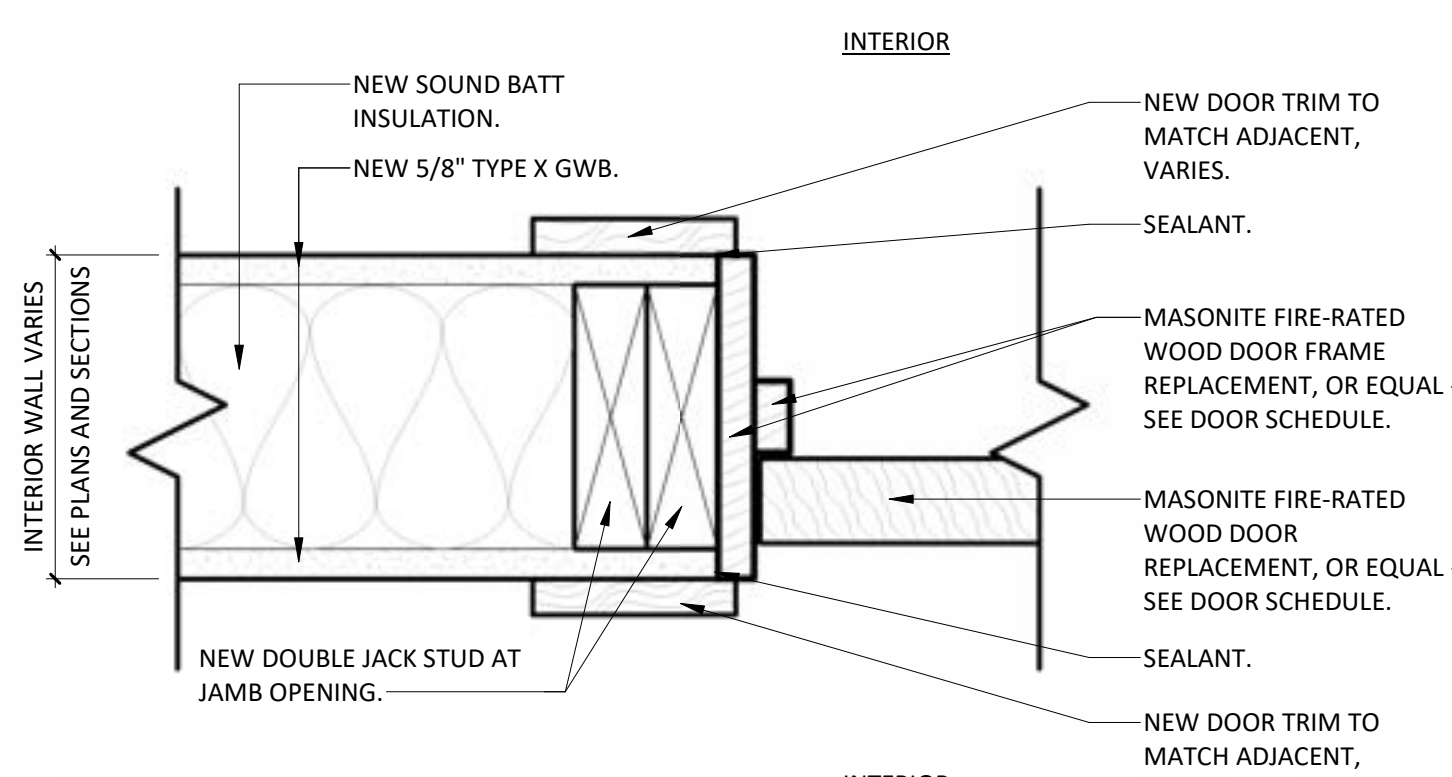
HEAD DETAIL - H2

SCALE : 3" = 1'-0"



JAMB DETAIL - J1

SCALE : 3" = 1'-0"

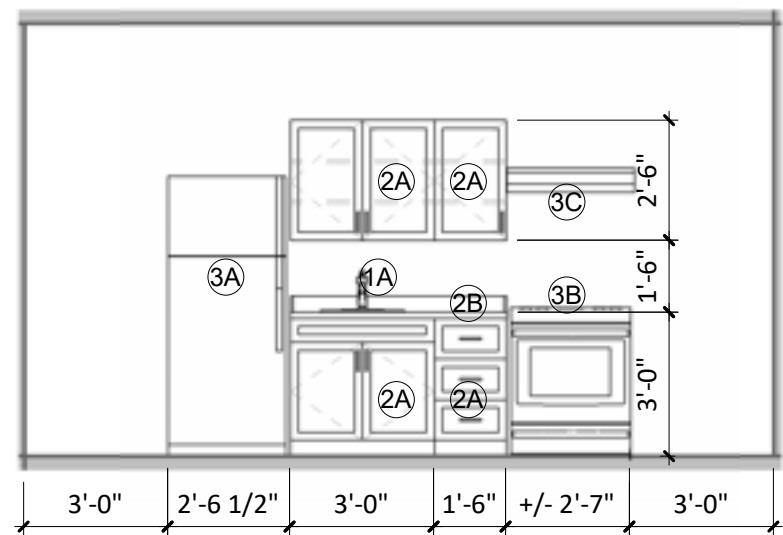


JAMB DETAIL - J2

SCALE : 3" = 1'-0"

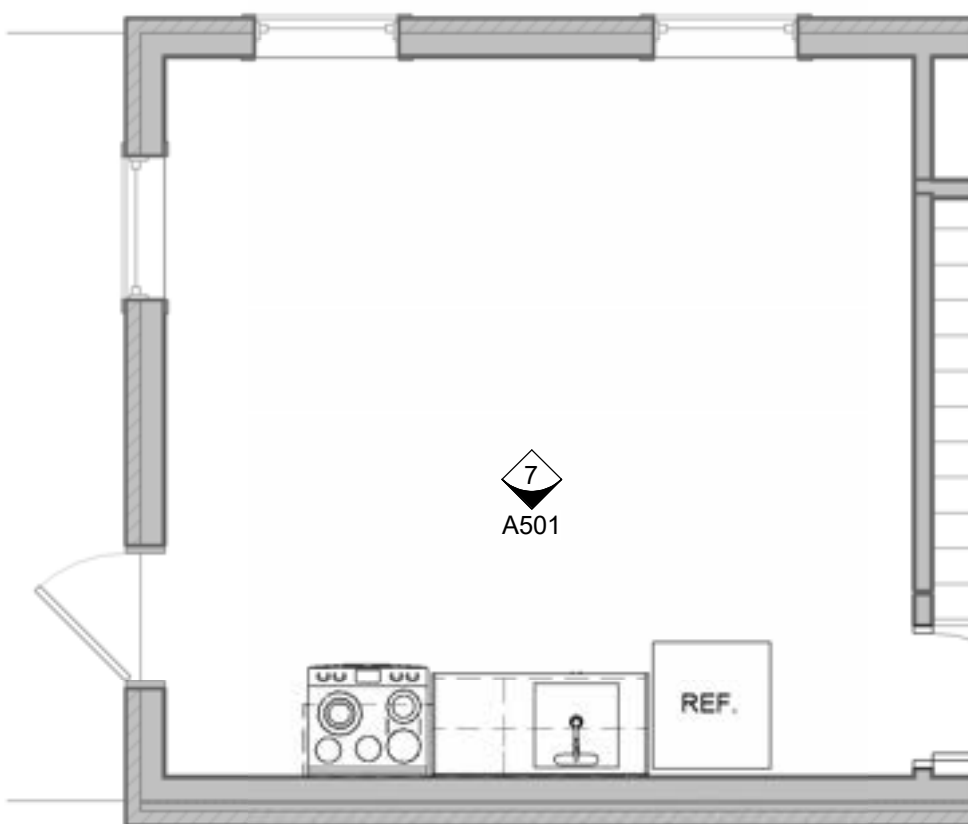
INTERIOR ELEVATION KEY

- (1A) PLUMBING FIXTURE, SELECTION BY OWNER
- (2A) PLASTIC LAMINATE MILLWORK CABINETS, WITH MATERIALS AND FINISHES BY OWNER
- (2B) PLASTIC LAMINATE COUNTERTOP W/ SIDE/BACKPLASH PER INTERIOR ELEVATIONS, WITH MATERIALS AND FINISHES BY OWNER
- (3A) REFRIGERATOR BY OWNER
- (3B) STOVE BY OWNER
- (3C) HOOD BY OWNER



KITCHENETTE ELEVATION

SCALE : 1/4" = 1'-0"



KITCHEN / BREAK RM ENLGD PLAN

SCALE : 1/4" = 1'-0"

DOOR SCHEDULE

DOOR NUMBER	DOOR DATA						FRAME DATA						HARDWARE SET	FIRE RATING	COMMENTS	
	DOOR DIMENSIONS			PANEL TYPE	GLAZING TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH	DETAILS					
	PANEL WIDTH	HEIGHT	HEAD								JAMB	SILL				
FIRST FLOOR AREA PLAN																
001	2'-6"	6'-2"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
101	3'-0"	7'-6"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
102	3'-0"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
103	3'-0"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	2	60 MIN	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.	
SECOND FLOOR AREA PLAN																
185													(none)			
201	2'-8"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
202	3'-0"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
203	3'-0"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
204	2'-6"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
THIRD FLOOR AREA PLAN																
301	2'-6"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH.	
302	3'-0"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	3	60 MIN	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.	
303	2'-6"	6'-8"	H	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	3	60 MIN	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.	

DOOR HARDWARE SCHEDULE

DOOR HARDWARE SCHEDULE SHOWN FOR DESIGN INTENT FOR DOOR FUNCTION AND CODE REQUIREMENTS. DOOR HARDWARE VENDOR SHALL CONFIRM ALL DOOR HARDWARE FUNCTIONS AND KEYING WITH OWNER BEFORE INSTALLATION.													
NUMBER	ROOM FUNCTION	DOOR LOCKSET FUNCTION	HARDWARE FINISH	HINGE TYPE	STOP TYPE	CLOSER	EXIT DEVICE (PANIC)	EXIT DEVICE (FIRE)	SILENCER	CYLINDER	SEAL KITS	SOUND ISOLATION KIT	COMMENTS
1	BREAK / HALLWAY	PUSH / PULL	BRASS	BUTT HINGES	WALL	YES	-	-	YES	NO	YES	-	MATCH EXISTING IN STYLE AND FINISH.
2	OFFICE	PRIVACY	BRASS	BUTT HINGES	WALL	YES	-	-	YES	YES	YES	-	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.
3	BEDROOM	PRIVACY	BRASS	BUTT HINGES	WALL	YES	-	-	YES	YES	YES	-	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.

INTERIOR ELEVATION GENERAL NOTES

- GENERAL INTERIOR ELEVATIONS NOTES:**
 - CHECK AND VERIFY** THAT ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 - DIMENSIONS ARE FROM FACE OF GWB OR EXPOSED MASONRY UNO.
 - THOSE DIMENSIONS WHICH REQUIRE FIELD VERIFICATION ARE IDENTIFIED WITH +/- DIMENSIONS NOT SO NOTED ARE INTENDED TO BE HELD. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION OF BUILDING COMPONENTS.
 - WHERE DISCREPANCIES OCCUR BETWEEN VARIOUS DRAWINGS OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ID DRAWING DIMENSIONS ON CASEWORK SUPERSEDE ARCHITECTURAL DRAWINGS.
 - WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE CONSTRUCTION IN A SOUND, WORKMANLIKE MANNER CONSISTENT WITH THE OTHER DETAILING SHOWN.
 - PROVIDE 18 GA BLOCKING OR METAL STRAPPING WITHIN PARTITIONS AND EXISTING PARTITIONS AT ALL WALL MOUNTED CASEWORK, FURNISHINGS, EQUIPMENT, ACCESSORIES AND STANDARDS. PROVIDE TREATED WOOD BLOCKING AT WET LOCATIONS.
 - UNSUPPORTED COUNTERTOPS AND KNEE SPACES SHALL HAVE INTERMEDIATE SUPPORTS, UNO. THE MAXIMUM SPAN FOR PLAM COUNTERTOPS LESS THAN OR EQUAL TO 24 INCHES DEEP IS 4 FEET 0 INCHES OC. PROVIDE SCRIBES FOR CABINET DOOR CLEARANCES AND FOR ALIGNMENT OF CABINETS. ALL SCRIBES SHALL BE FINISHED TO MATCH CABINET BODY.
 - REFER TO ID DRAWINGS FOR ALL FINISHES AND FINISH NOTES.
- ARCHITECTURAL WOODWORK GENERAL NOTES:**
 - CABINETS SHALL RECEIVE RESILIENT BASE TO MATCH ADJACENT WALL BASE, UNO.
 - COUNTERTOPS SHALL RECEIVE GROMMETS WHERE ELECTRICAL, TELEPHONE, DATA, AND/OR OTHER CONNECTIONS ARE LOCATED BELOW THE COUNTERTOP. QUANTITY AND SPACING SHALL BE AS DIRECTED BY THE OWNER.
 - WALL CABINET BOTTOMS SHALL BE FLUSH TO ALLOW FOR CONTINUOUS TASK LIGHT INSTALLATION. CONCEAL CONDUIT AND WIRING CONNECTION.
 - PROVIDE SPECIFIED CONCEALED BLOCKING AT ALL WALL MOUNTED ARCHITECTURAL WOODWORK, CASEWORK, FURNISHINGS, EQUIPMENT, ACCESSORIES, AND STANDARDS.
 - SHELVES IN WALL AND BASE CABINETS SHALL BE ADJUSTABLE AND 1 INCH LESS THAN THE CLEAR DEPTH OF THE CABINET, UNO. PROVIDE ONE (1) PLAM SHELF IN ALL BASE AND WALL CABINETS, UNO.
 - SHELVES SHALL BE 3/4 INCH THICK WITH PLAM OR MELAMINE. TYPICAL SHELVES OVER 3 FEET 0 INCHES LONG SHALL BE 1 INCH THICK WITH A MAXIMUM LENGTH OF 8 FEET 0 INCHES. ADJUSTABLE SHELVES SHALL BE NOTCHED FOR AND RECEIVE SUPPORTS.
 - UNSUPPORTED COUNTERTOPS AND KNEE SPACES SHALL HAVE INTERMEDIATE SUPPORTS, UNO. THE MAXIMUM SPAN FOR PLAM COUNTERTOPS LESS THAN OR EQUAL TO 24 INCHES DEEP IS 4 FEET 0 INCHES OC. PROVIDE SCRIBES FOR CABINET DOOR CLEARANCES AND FOR ALIGNMENT OF CABINETS. ALL SCRIBES SHALL BE FINISHED TO MATCH CABINET BODY.
 - WALL CABINET DOORS TO VERTICALLY ALIGN WITH BASE CABINET DOORS, UNO.
 - DOUBLE DOORS ON CABINET BODY SHALL BE EQUAL IN SIZE, UNO.
 - CABINET FRAMING SHALL BE 3/4 INCH THICK MATERIAL AS SPECIFIED. CABINET FRAMING AT ALL WET AREAS SHALL BE 3/4 INCH THICK MOISTURE RESISTANT MATERIAL AS SPECIFIED.
 - CABINET DOORS, DRAWER FRONTS, SHELVES, AND ACCESS PANELS SHALL HAVE EDGEBANDING TO MATCH COUNTER SURFACE MATERIAL.
 - CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 - DIMENSIONS ARE FROM FACE OF EXPOSED FINISH, UNO.
 - DIMENSIONS IDENTIFIED WITH +/- REQUIRE FIELD VERIFICATION. DIMENSIONS NOT SO NOTED ARE INTENDED TO BE HELD.
 - COORDINATE FABRICATION OF ARCHITECTURAL WOODWORK WITH CONTRACTOR AND OWNER SUPPLIED EQUIPMENT.
 - WHERE DISCREPANCIES OCCUR BETWEEN VARIOUS DRAWINGS OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE WORK IN A SOUND WORKMANLIKE MANNER CONSISTENT WITH OTHER DETAILING SHOWN.
 - PROVIDE CONTINUOUS COLOR MATCHED MILDEW RESISTANT SILICONE SEALANT AT ALL COUNTERTOPS AND SPLASHES. SEAL GAPS UNDER COUNTERTOP BETWEEN CABINETS.

INTERIOR GENERAL NOTES

- LIGHTING NOTES:**
 - ELECTRICAL ENGINEER AND/OR LIGHTING DESIGNER TO PROVIDE ALL NECESSARY/GENERAL LIGHTING FIXTURES AND LOCATIONS. ALL GENERAL LIGHTING DESIGNED BY THE ELECTRICAL ENGINEER TO MEET THE REQUIREMENTS OF THE 2015 IECC SECTION 405, INTERIOR LIGHT CALCULATIONS AND CONTROLS.
 - NECESSARY BLOCKING AND STRUCTURAL SUPPORT FOR LIGHTING FIXTURES TO BE PROVIDED BY THE GENERAL CONTRACTOR.
 - ONLY DECORATIVE LIGHTING IS PROVIDED BY CORNERSTONE DESIGN ARCHITECTS'. DECORATIVE LIGHTING SPECIFICATIONS BY CORNERSTONE DESIGN ARCHITECTS' ARE A GUIDE FOR STYLE AND LIMITED TO SPECIAL APPLICATIONS.
- FINISH NOTES:**
 - PRODUCT INSTALLATION & FINAL SURFACE PREPARATION OF ALL FINISH PRODUCTS SHOWN ON FINISH PLANS AND SCHEDULES SHALL FOLLOW MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND INSTALLERS SHALL USE MANUFACTURER'S RECOMMENDED ADHESIVE TO ENSURE FULL PRODUCT WARRANTIES. MANUFACTURER'S INSTALLATION INSTRUCTIONS HAVE PRIORITY OVER INTERIOR DESIGN DRAWINGS. PRIOR TO INSTALLING FLOORING PRODUCTS, INSTALLER SHALL REFER TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR GUIDELINES REGARDING ALLOWABLE MOISTURE AND PH LIMITS FOR THEIR PRODUCTS. THE MOISTURE VAPOR EMISSION RATE, RELATIVE HUMIDITY & ALKALINITY TESTING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF ASTM F 1869, ASTM F2170, ASTM F710 TO GIVE AN ACCURATE ASSESSMENT OF THE CONCRETE CONDITION AND THE TEST RESULTS/DATA OF EACH TEST SHALL BE WITHIN ACCEPTABLE LIMITS.
 - PRIVACY SCREENS AND TOILET PARTITIONS IN MEN'S TOILET AND WOMEN'S TOILET TO BE POWDER COATED METAL PARTITIONS. COLOR: TBD. TOILET ROOM WET WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, AS REQUIRED.
 - ALL CEILINGS WITH EXPOSED CONSTRUCTIONS TO BE PAINTED.
 - ALL WALLS TO BE PAINTED UNLESS NOTED OTHERWISE. SEE FINISH PLAN.
 - ALL DOOR AND WINDOW FRAMES TO BE SEMI-GLOSS FINISH.
 - VINYL OR RUBBER WALL BASE THROUGHOUT PROJECT UNLESS NOTED OTHERWISE.
 - CARPET WALL BASE TO BE INSTALLED IN ROOMS _____, AS NOTED IN THE ROOM FINISH SCHEDULE. FLOORING INSTALLER SHALL ENSURE THAT THE CARPET WALL BASE HAS THE MANUFACTURER'S RECOMMENDED COORDINATING COLOR TOP RIBBON. CARPET WALL BASE SHALL BE 4" HIGH.
 - ALL INTERSECTIONS OF FLOORING MATERIALS IN DOORWAYS SHALL OCCUR UNDER CENTERLINE OF DOOR.
 - AT ALL INTERSECTIONS OF ONE CARPET TO ANOTHER, PARTICULARLY IN DOORWAYS, THE SEAMS SHALL BE SEAM-SEALED.
 - ALL MINOR SPACES, I.E. CLOSETS AND ALCOVES, SHALL HAVE THE SAME FINISH AS THE ROOMS IN WHICH THEY ARE LOCATED.
 - RESILIENT FLOOR SEAMS SHALL RECEIVE THE HEAT WELD ROD COLOR AS RECOMMENDED BY THE MANUFACTURER.
 - AT ALL OCCURRENCES OF SHEET MATERIAL TO CARPET OR VCT, A TRANSITION PROFILE, SHALL BE USED UNLESS THE SHEET OR LVT IS SAME THICKNESS AS THE CARPET. AT ALL OCCURRENCES OF FLOORING TO SUBFLOOR, A TRANSITION PROFILE SHALL BE USED. COLOR: TBD. SEE FINISH LEGEND AND FINISH SCHEDULE FOR MORE INFORMATION.
 - FOR PAINT COLOR LOCATION ON CEILING SOFFITS AND BULKHEADS REFER TO ARCHITECTURAL REFLECTED CEILING PLANS (TBD).
 - CMU MASONRY WALLS SHALL RECEIVE EPOXY PAINT.
 - CERAMIC TILE / CARPET TRANSITIONS SHALL RECEIVE A SCHLUTER TRANSITION - STYLE TBD BY GC; COLOR: BRUSHED NICKEL OR BRUSHED CHROME LOOK. CERAMIC, GLASS, AND STONE TILE SHALL BE INSTALLED PER THE CURRENT VERSION OF TCNA HANDBOOK FOR CERAMIC, GLASS, AND STONE TILE INSTALLATION.
 - GC TO PROVIDE GLASS-MAT SHEATHING WHERE CERAMIC, PORCELAIN, STONE, OR GLASS TILES ARE INDICATED TO BE INSTALLED. ALL GROUT SHALL BE SEALED A MINIMUM OF TWO TIMES. GROUT COLORS ARE NOTED IN ROOM FINISH LEGEND. ALL EXPOSED EDGES SHALL RECEIVE A SCHLUTER TRIM IN A BRUSHED NICKEL OR BRUSHED CHROME LOOK.
 - ALL STONE VENEER MUST BE INSTALLED PER LATEST OR CURRENT MVMA GUIDE AND ANSI A118 OR ANSI A118.5. GC TO CHOOSE A MATCHING MORTAR COLOR WHEN MORTAR IS SPECIFIED; VERIFY WITH OWNER AND INTERIOR DESIGNER.

CORNERSTONE
DESIGN ARCHITECTS
48-50 W. CHESTNUT STREET, SUITE 400
PO BOX 1796
LANCASTER, PA 17608
PHONE: 717.435.1800 FAX: 717.435.1801

SEAL

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KEY PLAN

ISSUES

MARK	DATE	DESCRIPTION
PROJECT PHASE		
CONSTRUCTION DOCUMENTS		
PROJECT NUMBER	2024018	
DATE		
DRAWN BY	PS	
MANAGED BY	PS	
APPROVED BY	25	
SHEET TITLE		
DOOR & HARDWARE SCHEDULE, DOOR & FRAME TYPES		
SHEET NUMBER		
A501		

NOT FOR CONSTRUCTION