PENNSYLVANIA ADULT AND TEEN CHALLENGE INTERIOR RENOVATION AND ALTERATIONS

IN

LANCASTER CITY

436 NORTH LIME STREET LANCASTER, PENNSYLVANIA 17602

PROJECT TEAM

OWNER

PA ADULT AND TEEN CHALLENGE

33 TEEN CHALLENGE ROAD

REHRERSBURG, PENNSYLVANIA 19550

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ARCHITECT

CORNERSTONE DESIGN ARCHITECTS

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CONTRACTOR
TBD, BY OWNER.

GENERAL NOTE: MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WILL BE DELEGATED DESIGN AND

ARE NOT COVERED IN THIS SET OF DOCUMENTATION.

OWNER'S CONSULTANTS:
OWNER CONSULTANT INFORMATION IS INCLUDED FOR CONVENIENCE PURPOSES ONLY AND IS NOT WORK O

APPLICABLE CODE IN TOWNSHIP, STATE

2018 INTERNATIONAL BUILDING CODE (IBC)

. CHAPTER 1 IS REPLACED WITH PA UNIFORM CONSTRUCTION CODE (UCC)

USE AN AERIAL PHOTO SHOWING THE OVERALL CONTEXT AROUND THE SITE

THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OF THE WORK PROVIDED OR COORDINATION OF ITEMS PROVIDED BY THE OWNER'S CONSULTANTS.

. CHAPTER 27 ELECTRICAL REQUIRES COMPLIANCE WITH NFPA 70-2017
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) - CODE FOR ONE AND TWO
FAMILY DWELLINGS NO MORE THAN 3 STORIES IN HEIGHT
2009 ICC/ANSI A117.1 (ACCESSIBILITY)
2018 INTERNATIONAL FIRE CODE (IFC) - ADOPTED ONLY TO THE EXTENT

REFERENCED IN CHAPTER 35 OF 2018 IBC

2018 INTERNATIONAL MECHANICAL CODE (IMC)

2018 INTERNATIONAL PLUMBING CODE (IPC)

2018 NATIONAL ELECTRICAL CODE (NFPA 70-2017)
2018 INTERNATIONAL FUEL GAS CODE (IFGC) - LPG REQUIREMENTS ARE
SUPERSEDED BY THE REQUIREMENTS OF THE PA PROPANE AND LIQUEFIED
PETROLEUM GAS ACT

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING INFORMATION SUMMARY

OCCUPANCY NFPA 13 EXIST. NFPA 13 EXIST. FIRE
NAME CONST. TYPE GROUP SPRINKLERED SPRINKLERED ALARM

AREA A IIIB B No No Yes

CONSTR

CS/CRS

CONSTRUCTION

CONTRACTOR

COORDINATE

CORRIDOR

COURSE

CONTINUE / CONTINUOUS

CARPET / CARPET TILES

FRAME / FRAMING

FOOD SERVICE

FOOT OR FEET

FIRE PROTECTION / FIREPROOF

FIBERGLASS REINFORCED PANEL

FL / FLR

Cisper Magazine

Cisper Magazine

Cisper Magazine

City Center VMI

City C

MECHANICAL CONTRACTOR

MEDIUM DENSITY OVERLAY

MECHANICAL, ELECTRICAL, PLUMBING SFRM

MEMBRANE

MEP

SOUND BATTING

SOLID CORE WOOD DOOR

SPRAY APPLIED FIRE RESISTANT

SOLID CORE

SECTION

MATERIAL

SCWD



SITE MAP

SUMMARY OF WORK: INTERIOR RENOVATION WORK TO EXISTING BUILDING TO ISOLATE STAIRS. INTENT IS TO IMPROVE LIFE-SAFETY PERFORMANCE OF BUILDING PER FINDINGS OF IEBC CHAPTER 13 PERFORMANCE COMPLIANCE REVIEW SO THAT EXISTING OFFICES CAN BE CONVERTED TO SLEEPING ROOMS. NO SPRINKLERS ARE PRESENT OR TO BE ADDED. TEHRE IS NO EXTERIOR WORK OR OWRK AT THE BASEMENT OR ROOF LEVELS. THERE IS NO WORK AT THE BATHROOMS. THERE IS NO MEP WORK SHOWN IN THIS SET OF DOCUMENTS.

ROOM NAME & NUMBER

PROJECT OVERVIEW



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GLAZING SYSTEM

														THIRD FLOOR	
			Α	BBREV	IATIONS LEGE	ND				9	SYMBOLS I	LEGENE)	MATERIA	L LEGEND
@	AT	CTR	CENTER	FTG	FOOTING	MFR	MANUFACTURE(R)	SHLVG	SHELVING						(-
AΒ	ANCHOR BOLT	CT	CERAMIC TILE	FURN	FURNITURE / FURNISH	MIN	MINIMUM	SIM	SIMILAR	EXIS	STING CONSTRUCTION	GWB PNT-1 8'-0" FIRE RATII	CEILING TAG		GYPSUM BOARD OR
ıC	AIR CONDITIONING	CU	CUBIC	GA	GAUGE	MISC	MISCELLANEOUS	SPECS	SPECIFICATIONS			FIRE RATII (IF APPLIC		ALUMINUM	算過過過過過 SHEATHING
CC	ACCESSIBLE	CW	CURTAIN WALL	GALV	GALVANIZED	MO	MASONRY OPENING	SQ SQ FT/SF	SQUARE						(a) 7 (b) (b) (c) (b)
COUST	ACOUSTIC(AL) AMERICANS WITH DISABILITIES ACT	CY	CUBIC YARD DEPTH / DEEP	GC	GENERAL CONTRACTOR	MR	MOISTURE RESISTANT METAL	SQ FT/SF SQ IN/SI	SQUARE FEET SQUARE INCH	DEN	MOLITION	CPT-1	FLOOR FINISH TAG		First Williams was strifted.
NDA NDD	ADDITION / ADDITIONAL	DIA	DIAMETER	GLU LAM	GLASS / GLAZING GLUE LAMINATED WOOD	MTL MTD / MTG	MOUNTED / MOUNTING	SQ 111/31 SS	STAINLESS STEEL					X X X X 2 INCLUSTION	
DH	ADDITION / ADDITIONAL ADHESIVE / ADHERED	DBL	DOUBLE	GRD	GRADE	NA	NOT APPLICABLE	SSM	SOLID SURFACE MATERIAL					BATT INSULATION	MORTAR
OJ.	ADJUSTABLE / ADJACENT	DEG	DEGREE	GSB	GYPSUM SHEATHING BOARD	NIC	NOT AFFEICABLE NOT IN CONTRACT	ST	STREET	NEV	V CONSTRUCTION	TA1	TOILET ACCESSORY		
FF	ABOVE FINISH FLOOR	DEMO	DEMOLISH / DEMOLITION	GWB	GYPSUM WALL BOARD	NO / NUM / #	NUMBER	STC	SOUND TRANSMISSION CLASS						V
FG	ABOVE FINISH GRADE	DEPT	DEPARTMENT	GYP BD	GYPSUM BOARD	NTS	NOT TO SCALE	STD	STANDARD	PROJECT NORTH		<u> </u>	SIGNA OF TAG		
HU	AIR HANDLING UNIT	DET / DTL	DETAIL	H / HT / HGT	HEIGHT / HIGH	OA	OVERALL	STL	STEEL	TRUE NORTH		\$1	SIGNAGE TAG	BLOCKING OR SHIM	PLYWOOD
IA	AMERICAN INSTITUTE OF	DF	DRINKING FOUNTAIN	HC.	HANDICAP(PED)	OC	ON CENTER	STN	STAINED		DTIL ADDOM				
	ARCHITECTS	DIAG	DIAGONAL	HCWD	HOLLOW CORE WOOD DOOR	OD	OUTSIDE DIAMETER	STO / STOR	STORAGE	NOF	RTH ARROW				
LT	ALTERNATE	DIM	DIMENSION	HDWR	HARDWARE	OFF	OFFICE	STRUCT	STRUCTURE / STRUCTURAL						
LUM	ALUMINUM	DIR	DIRECT(OR)(ION)	HDR	HEADER	ОН	OVERHEAD	SUSP	SUSPENDED					BLOWN-IN INSULATION	PRECAST CONCRETE
PC	ACOUSTICAL PANEL CEILING	DISP	DISPENSER / DISPOSAL	HK	HOUSEKEEPING	OPNG	OPENING	T	TREAD						(45/1/1/1/1/1/1/1/1/1/1/1/1/1/1/1/1/1/1/1
APPROX	APPROXIMATE	DIV	DIVISION	НМ	HOLLOW METAL	OPP	OPPOSITE	TA	TOILET ACCESSORY	1	LDING SECTION				
ΛPT	APARTMENT	DN	DOWN	HORIZ	HORIZONTAL	ORD	OVERFLOW ROOF DRAIN	TEMP	TEMPERED / TEMPERATURE	A101	LDING SECTION				
RCH	ARCHITECT / ARCHITECTURAL	DR	DOOR / DRAIN	HR	HANDRAIL	OSB	ORIENTED STRAND BOARD	TH	THRESHOLD					BRICK	RIGID INSULATION
SST	ASSISTANT / ASSISTANCE	DS	DOWNSPOUT	HR	HOUR	PC	PLUMBING CONTRACTOR	THK	THICK OR THICKNESS						
UTO	AUTOMATED / AUTOMATIC	DW / DW	DISHWASHER	HTR	HEATER	PEMB	PRE ENGINEERED METAL BUILDING	TLT / TL	TOILET	A A	TION DETAIL				
NVG	AVERAGE	DWG	DRAWING	HVAC	HEATING, VENTILATING & AIR	PERF	PERFORATED	T&G	TONGUE AND GROOVE	A102	TION DETAIL				
VL	AUDIO VIDEO LIGHTING	EA	EACH	-	CONDITIONING	PL	PLATE	TOF	TOP OF FOOTER					CELLULAR PVC	SPRAY FOAM INSULATION
WT	ACOUSTICAL WALL TREATMENT	EIFS	EXTERIOR INSULATION &	ID	INSIDE DIAMETER	PLAM	PLASTIC LAMINATE	TOPO	TOPOGRAPHY, TOPOGRAPHIC						Si wa i si wa i si wa i si wa i si si wa i si si wa i si si wa i si s
ATH	BATHROOM		FINISH SYSTEM	IHM	INSULATED HOLLOW METAL	PLUMB	PLUMBING	TOS	TOP OF STEEL	A TANK	ARGED PLAN OR DETAIL				
D	BOARD	EJ	EXPANSION JOINT	IN OR "	INCH OR INCHES	PLWD/PLYWD		TOW	TOP OF WALL	A102	ARGED PLAN OR DETAIL				
FF	BELOW FINISH FLOOR	EL / ELEV	ELEVATION	INFO	INFORMATION	PMF	PRE-MOLDED FILLER	TPO	THERMOPLASTIC POLYOLEFIN					CONCRETE	STEEL STEEL
FG	BELOW FINISH GRADE	ELEC	ELECTRIC / ELECTRICAL	INSUL	INSULATE / INSULATION	PNL	PANEL	TYP	TYPICAL					CONCRETE	STEEL
IT	BITUMINOUS	ELVR	ELEVATOR	INT	INTERIOR	PNT / PTD	PAINT / PAINTED	U	HEAT TRANSFER COEFFICIENT	A601	EDIOD ELEVATION TAC				
BLDG	BUILDING	ENG	ENGINEER	JAN	JANITOR	PREFAB	PRE FABRICATED	UL	UNDERWRITERS LABORATORIES	INTE	ERIOR ELEVATION TAG				
BLK / BLKG	BLOCK(ING)	ENTR	ENTRY / ENTRANCE	JC	JANITORS CLOSET	PSI	POUNDS PER SQUARE INCH	UNEX	UNEXCAVATED	~					
BOD	BOTTOM OF DECK(ING)	EOS	EDGE OF SLAB	JT / JNT	JOINT	PT	PRESSURE TREATED	UNFIN	UNFINISHED					CONCRETE MASONRY UNI	
BOF	BOTTOM OF FOOTING	EPDM	ETHYLENE PROPYLENE DIENE	KIT	KITCHEN	PVC	POLYVINYL CHLORIDE	UNO	UNLESS NOTED OTHERWISE						
ВОТ	воттом		MONOMER	L	LENGTH	QT	QUARRY TILE	USG	UNITED STATES GYPSUM		LUMN GRID LINE				
RG	BEARING	EPS	EXTRUDED POLYSTYRENE	LAB	LABORATORY	QTY	QUANTITY	UTIL / UTL	UTILITY	$A \longrightarrow + \longrightarrow COL$	LOWIN GRID LINE			CONTINUOUS WOOD	
3R	BEDROOM	EQ	EQUAL	LDRY	LAUNDRY	R	RISER	VB	VINYL BASE	1				FRAMING	
BSMT	BASEMENT	EQUIP	EQUIPMENT	LF	LINEAR FOOT / FEET	RAD	RADIUS	VCT	VINYL COMPOSITION TILE					FRAIVIING	
BTU	BRITISH THERMAL UNIT	ES	EACH SIDE	LAM	LAMINATED	RCP	REFLECTED CEILING PLAN	VENT	VENTILATION						
BTWN / BETV	V BETWEEN	ETR	EXISTING TO REMAIN	LAV	LAVATORY	RCPTN	RECEPTION(IST)	VERT	VERTICAL	A — — MA	TCH LINE				
CAB	CABINET	EWC	ELECTRIC WATER COOLER	LG	LAMINATED GLASS	REBAR	REINFORCING BAR	VEST	VESTIBULE	I WIA	TCH LINE			CRUSHED STONE	
CF	CUBIC FOOT	EXH	EXHAUST	LH	LEFT HAND	REC	RECOMMENDATION	VIF	VERIFY IN FIELD	1					
CG	CORNER GUARD	EXIST	EXISTING	LHR	LEFT HAND REVERSE	RECP	RECEPTACLE	VT	VINYL TILE	0'-0" SPO	OT ELEVATION SYMBOL				
CI	CONTINUOUS INSULATION	EXP	EXPANSION	LL	LIVE LOAD	REF	REFRIGERATOR	VWB	VINYL WALL BASE	350	T LLEVATION STIVIBOL			FIII	
CJ	CONTROL JOINT	EXT	EXTERIOR	LS	LINEAR SYSTEM	REINF	REINFORCE / REINFORCED	VWC	VINYL WALL COVERING	DAD	RTITION TYPE				
CL	CENTER LINE	FD	FLOOR DRAIN	LVL	LAMINATED VENEER LUMBER	REQ / REQ'D	REQUIRED	W	WIDE / WIDTH		E PARTITION TYPES FOR			EARTH	
CLO / CL	CLOSET	FDC	FIRE DEPARTMENT CONNECTION	LVP	LUXURY VINYL PLANK	REQTS	REQUIREMENTS	W/	WITH	29	ERPRETATION)				
CLG	CEILING	FDN / FND	FOUNDATION	LVT	LUXURY VINYL TILE	REV	REVISION	WC	WATER COOLER	INTE	ENI NEIAHON)				
CLR	CLEAR	FE	FIRE EXTINGUISHER	MAINT	MAINTENANCE	RFO	ROUGH FRAME OPENING	WD	WOOD	GLA GLA	ZING TYPE			FINICUED WOODWOOV	
CMU	CONCRETE MASONRY UNIT	FEC	FIRE EXTINGUISHER CABINET	MATL	MATERIAL	RHR	RIGHT HAND REVERSE	WDW	WINDOW	FIRE RATING	AZIIVO III L			FINISHED WOODWORK	
COL	COLUMN	FFE	FINISH FLOOR ELEVATION	MAX	MAXIMUM	RD	ROOF DRAIN	WH	WATER HEATER	(IF APPLICABLE)					
CONC	CONCRETE	FIN	FINISH	MBR	MEMBER	RM	ROOM	W/O	WITHOUT	VEV.	NOTE				
CONF	CONFERENCE	FIN FL	FINISH FLOOR	MC	MECHANICAL CONTRACTOR	RO	ROUGH OPENING	WOM	WALK OFF MAT	(1)—— KEY	NOTE				

YARD

YEAR

WATERPROOF(ING)

WATER REPELLENT

WIRE WELDED MESH EXPANDED POLYSTYRENE

WEATHER RESISTANT BARRIER

PROGRESS

CORNERSTONE DESIGN-ARCHITECTS

48-50 W. CHESTNUT STREET, SUITE 400 P.O. BOX 1786 LANCASTER, PA 17608 PHONE: 717.435.1800 FAX: 717.435.1801

PROJECT PENNSYLVANIA

CHALLENGE INTERIOR RENOVATION AND ALTERATIONS

ADULT AND TEEN

436 NORTH LIME STREET
LANCASTER, PENNSYLVANIA 17602

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THE CONTRACTOR SHALL VERIFY ALL MENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK.

THESE DRAWINGS HAVE BEEN PREPARED SPESSON OF THE STREET PROCESS OF TH

THESE DRAWINGS HAVE BEEN PREPARED
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DESIGN/BUILD CONTRACTOR AND PROVIDE
A COMPLETE AND FUNCTIONAL SYSTEM
FOR THEIR RESPECTIVE TRADE(S).

REVISION

DATE

KEY PLAN

ISSU

PROJECT PHASE

CONSTRUCTION

CONSTRUCTION DOCUMENTS

PROJECT NUMBER 2024018

DATE

DRAWN BY PB

ROVED BY ZP
SHEET TITLE

COVER SHEET

SHEET NUMBER

LIST OF DRAWINGS

ARCHITECTURAL

NUMBER

CS COVER SHEET

A010 UL NUMBERS

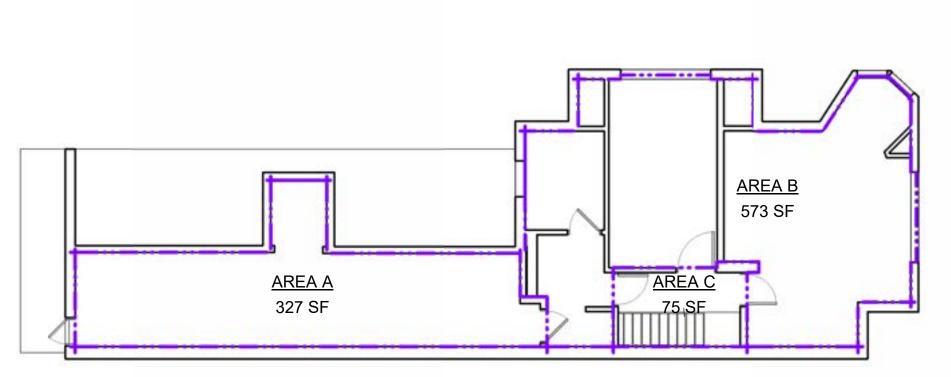
A002 LIFE SAFETY SCHEDULES & AREA PLANS

A101 DEMOLITION/ ALTERATION AND PROPOSED/ ENLARGED FLOOR PLANS

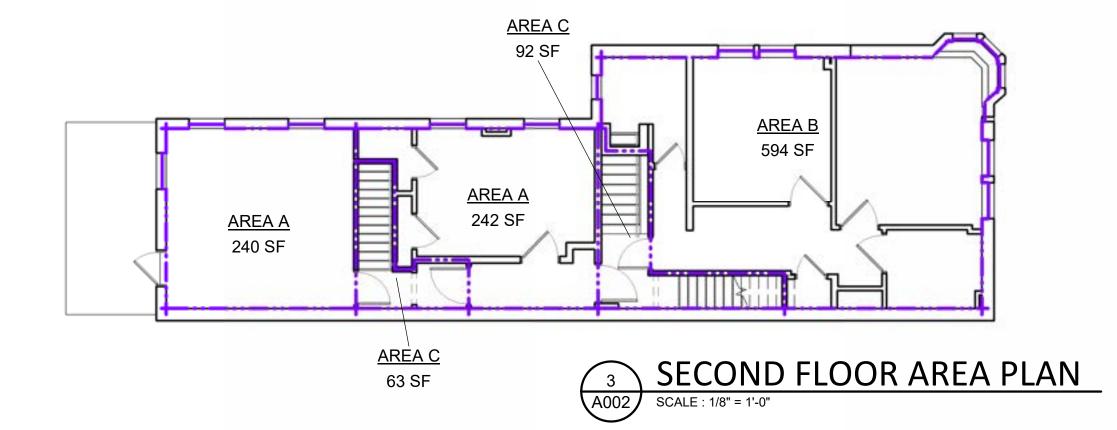
A501 DOOR & HARDWARE SCHEDULE, DOOR & FRAME TYPES

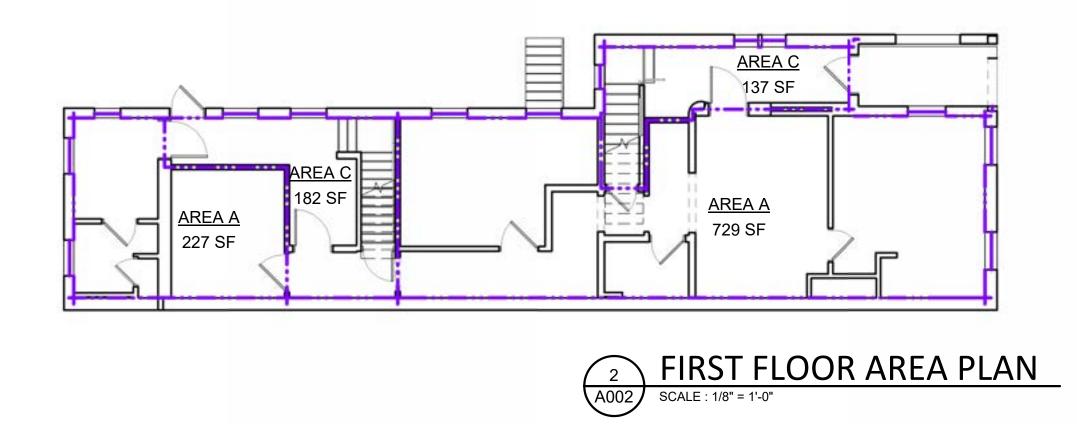
					ROILDI	NG INFO	JRIVIATI	ION					
					201	18 INTERNATIONAL B	UILDING CODE						
	BUILDING CLASSIFICATION INFORMATION					DING INFORMATION		AREA & HEIGHT CON 506.2, 503.3 & 506.4	•	PROVIDED BUILDING STORIES AND HEIGHT			
NAME	PRIMARY OCCUPANCY	NON-SEPARATED OCCUPANCIES	CONSTRUCTION TYPE	NFPA 13 SPRINKLER SYSTEM	EXISTING NFPA 13 SPRINKLER SYSTEM	EXISTING FIRE ALARM	TABULAR ALLOWABLE (At)	ALLOWABLE HEIGHT	ALLOWABLE NUMBER OF STORIES	BASEMENT (YES/NO)	PROVIDED NUMBER OF STORIES	PROVIDED HEIGHT	
AREA A	В	NONE	IIIB	No	No	Yes	19000 SF	55'-0"	4	Yes	4	46'-0"	

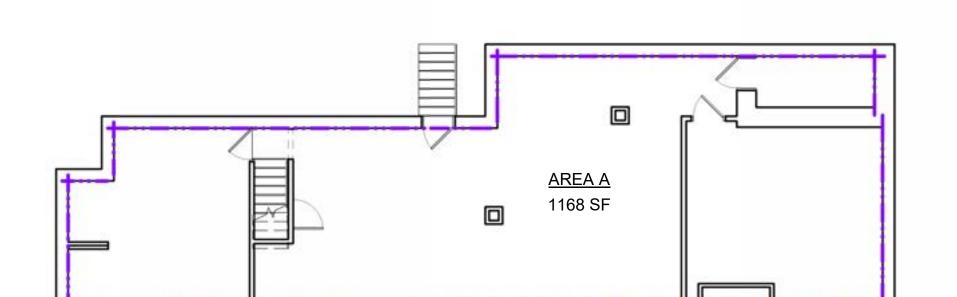
				A	REA CALO	CULATION	S				
				20	018 INTERNATIONAL BUI	LDING CODE (SECTION 50	6)				
	EQUATI	ON 5-5: (F/P - 0.25) x W	//30 = If		EQUATION 5-2: At + (NS x If) x Sa - Aa						
						IBC ALLOWABLE AREA CONSTRAINTS (TABLE 506.2)					
	PERIMETER FRONTING	TOTAL BUILDING	MIN. OPEN SPACE (30'	AREA FACTOR	NFPA 13 SPRINKLER	TABULAR ALLOWABLE	TABULAR ALLOWABLE AREA	ALLOWABLE AREA PER	PROVIDED NUMBER OF	TOTAL BUILDING	
NAME	A PUBLIC WAY (F)	PERIMETER (P)	MAX) (W)	INCREASE (If)	SYSTEM	AREA (At)	NONSPRINKLERED (NS)	FLOOR	STORIES (Sa)	ALLOWABLE AREA (Aa)	
AREA A	23	201.5	30	-0.135856	No	19000 SF	19000 SF	16419 SF	4	65675 SF	













APPLICABLE CODES

APPLICABLE CODE IN TOWNSHIP, STATE
2018 INTERNATIONAL BUILDING CODE (IBC)

. CHAPTER 1 IS REPLACED WITH PA UNIFORM CONSTRUCTION CODE (UCC)

CHAPTER 403
. CHAPTER 27 ELECTRICAL REQUIRES COMPLIANCE WITH NFPA 70-2017
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2018 INTERNATIONAL FUEL GAS CODE (IFGC) - LPG REQUIREMENTS ARE
SUPERSEDED BY THE REQUIREMENTS OF THE PA PROPANE AND LIQUEFIED

PETROLEUM GAS ACT
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING AREA CALCULATIONS BUILDING **ACTUAL FLOOR TOTAL ALLOWABLE** PERIMETER AREA < AREA PER FLOOR AREA A 1353 SF PASS 16419 SF **BASEMENT AREA** AREA A FIRST FLOOR AREA 193'-8" 1446 SF PLAN SECOND FLOOR AREA A 180'-10" 1388 SF 16419 SF AREA PLAN AREA A THIRD FLOOR AREA 16419 SF 201'-9" 1133 SF PASS PLAN TOTAL BUILDING ALLOWABLE AREA (Aa)

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SECTION	DESCRIPTION	VALUE
	Existing Occupancy	8
	Proposed Occupancy (For Tables + Calculations)	R
	Proposed Occupancy (Specific Type)	R-3
	Type of Construction	IIIB
	Year Building Was Constructed	c.1871
	Number of Stories	4
1301.6.1	Height in Feet	46
	Area per Floor	1,158
1301.6.2	Percentage of Open Perimeter Increase	6400%
	Completely Suppressed	No
1301.6.3	Compartmentation	Yes
1301.6.5	Corridor Wall Rating	0
1301.6.5	Required Door Closers	Yes
1301.6.6	Fire-Resistance Rating of Vertical Opening Enclosures	0
1301.6.7	Category of HVAC System	5
1301,0,7	- Serving Number of Floors	1
1301.6.8	Automatic Fire Detection	Yes
1301.0.0	- Category and Location	6
1301.6.9	Fire Alarm System	Yes
-301.0.5	- Category	0
1301.6.10	Smoke Control	Yes
	- Category	3
1301.6.11	Adequate Exit Routes	Yes
1301.6.12	Dead Ends	No
1301.6.13	Maximum Exit Access Travel Distance	Yes
1301.6.14	Elevator Controls	No
1301.6.15	Means of Egress Emergency Lighting	No
1301.6.16	Mixed Occupancies	Yes
1301.6.18	Standpipes	No
1301.6.19	Incidental Use	No
1301.6.20	Smoke Compartmentation Less Than 22,500 Sq. Feet (2,092 m²)	Yes
301.6.21.1	Patient Ability for Self-Preservation	(I-2 Only)
301.6.21.2	Patient Concentration	(I-2 Only)
301.6.21.3	Attendant-to-Patient Ratio	(I-2 Only)
	Building Height Equation 13-1: Height Value, Feet = ((AH - EBH) / 12.5) x CF	0.7
	Building Height Equation 13-2: Height Value, Stories = (AS – EBS) × CF	0.0
	Allowable Height (AH)	55.0
	Existing Building Height (EBH)	46.0
1301.6.1	Allowable Height in Stories (AS)	4
	Existing Building Height in Stories (EBS)	4
	Construction Factor (CF)	144
	- 1 if AH - BH is positive.	1
	- CF shown in Table 1301.6.6(2) if AH - EBH is negative.	100
	Building Area Equation 13-3: Allowable Building Area per Story (A _a) = A _a + (NS x L)	16,064
	Tabular Allowable Area Factor (A.) - IBC Table 506.2 - Tabular (SF)	16,000
	Tabular Allowable Area Factor (NS) - IBC Table 506.2	16,000
1201 6 2		
1301.6.2	Area Factor Increase Due to Frontage (I _t) - Frontage (SF)	6400.0%
	Building Area Equation 13-4: Area Value, = Allowable Area, / 1,200 SF x (1 - (Actual Area, /	9.9
	Allowable Area, + Actual Area, / Allowable Area,))	
	Actual Area	4,241

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS

Elevator Controls	
a. No elevator.	
Means of Egress Emergency Lighting	1
Minimum of one exit	
b. Means of egress lighting and exit signs provided with emergency power in a	ccordance with Section 2702 of
Mixed Occupancies	-10
a. Occupancies separated by minimum 1-hour fire barriers or minimum 1-hour	horizontal assemblies, or both.
Completely Suppressed	-6
 a. Sprinklers are required throughout; sprinkler protection is not provided or ti adequate for the hazard protected in accordance with Section 903 of the IBC. 	he sprinkler system design is no
Standpipes	-6
Standpipes are required; standpipe is not provided or the standpipe system Section 905.3 of the IBC.	design is not in compliance with
Incidental Use	0
None	
None	
Smoke Compartmentation Less Than 22,500 Sq. Feet (2,092 m²)	0
	Means of Egress Emergency Lighting Minimum of one exit b. Means of egress lighting and exit signs provided with emergency power in a Mixed Occupancies a. Occupancies separated by minimum 1-hour fire barriers or minimum 1-hour Completely Suppressed a. Sprinklers are required throughout; sprinkler protection is not provided or the adequate for the hazard protected in accordance with Section 903 of the IBC. Standpipes a. Standpipes are required; standpipe is not provided or the standpipe system Section 905.3 of the IBC. Incidental Use None

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SECTION	DESCRIPTION	VAL
	Compartmentation (Table 1301.6.3)	22
1301.6.3	e. Compartment size of 2,500 square feet or less	
	Separation Value (Table 1301.6.4)	0
	c. Fire partitions with 1-hour or greater fire-resistance ratings constructed in accordance with	
1301.6.4	and floor assemblies with 1-hour but less than 2-hour fire-resistance ratings constructed in a	
	711 of the IBC	
	6. 14. 10.10.1. 17.11.4344.6.01	
1301.6.5	Corridor Wall Rating (Table 1301.6.5) c. 1-hour to less than 2-hour fire-resistance rating, with doors conforming to Section 716 of the conforming to Section 716 of	be 100° ex with
1301.6.5	c. 1-nour to less than 2-nour live-resistance rating, with doors conforming to Section 716 or to corridors as permitted by Section 1020 of the IBC.	ne let or wit
	Vertical Openings Equation 13-5: VO = PV x CF	2.
	Protection Value from Table 1301.6.6(1) (PV)	
1301.6.6	1 to less than 2 hours: 1	
	Construction Type System State Come Table 1201 S S(7) (25)	-
	Construction-Type Factor from Table 1301.6.6(2) (CF_2)	3.
	HVAC System Category (Table 1301.6.7.1)	- 5
1301.6.7		
	e. Systems serving one story; or a central boiler/chiller system without ductwork connecting	two or more
	Detection Type & Location (Table 1301.6.8)	
1301.6.8	CONTROL OF CONTROL OF THE SECOND PROPERTY OF	
	e. Smoke detectors installed through-out the floor area.	
	Fire Alarm System	
1301.6.9		
7977777	c. Fire alarm system in accordance with Section 907 of the IBC.	
	Smoke Control Method	- 3
301.6.10		
	d. One smokeproof enclosure and the building has openings in accordance with Category b.	
	g 20 April 19 America - Carlo and America - Ca	
	Adequate Exit Routes	
301.6.11	b. Capacity of the means of egress complies with Section 1005 of the IBC, and the number of	avity come!
301.0.11	b. Capacity of the means of egress compiles with Section 1005 of the IBC, and the number of minimum number required by Section 1006 of the IBC.	exits compli
	manuscript required of section seps of the force	
	Dead Ends	1
201 6 11	CONTRACTOR OF THE PARTY OF THE	- 31
301.6.12	c. No dead ends; or ratio of length to width (I/w) is less than 2.5:1.	
	Maximum Exit Access Travel Distance Equation 13-6: Points = 20 x ((Maximum Allowable	23
	Travel Distance - Maximum Actual Travel Distance) / Maximum Allowable Travel Distance)	16
	Maximum Exit Access Travel Distance	33
301.6.13	The state of the s	
301.6.13	Maximum Allowable Travel Distance (MaxAllowableTD)	20

2018 IEBC - TABLE 1301.7 PERFORMANCE COMPLIANCE METHODS PREPARED BY CORNERSTONE DESIGN-ARCHITECTS - 3/8/2024

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
301.6.1 Building Height	0.7	0.7	0.7
301.6.2 Building Area	9.9	9.9	9.9
301.6.3 Compartmentation	22.0	22.0	22.0
301.6.4 Tenant and Dwelling Unit Separations	0.0	0.0	0.0
301.6.5 Corridor Walls	0.0	0.0	0.0
.301.6.6 Vertical Openings	2.0	2.0	2.0
1301.6.7 HVAC Systems	5.0	5.0	5.0
301.6.8 Automatic Fine Detection	6.0	6.0	6.0
301.6.9 Fire Alarm System	0.0	0.0	0.0
301.6.10 Smoke Control	****	3.0	1.0
301.6.11 Means of Egress	****	0.0	0.0
301.6.12 Dead Ends	****	2.0	2.0
301.6.13 Maximum Exit Access Travel Distance	****	16.9	16.9
301.6.14 Elevator Control			
301.6.15 Means of Egress Emergency Lighting	****	1.0	1.0
301.6.16 Mixed Occupancies	(10.0)	****	(10.0)
301.6.17 Automatic Sprinklers	(6.0)	(3.0)	(6.0)
301.6.18 Standpipes	(6.0)	(6.0)	(6.0)
301.6.19 incidental Use	0.0	0.0	0.0
301.6.20 Smoke Compartmentation	0.0	0.0	0.0
1301.6.21.1 Patient Ability for Self-Preservation	****	(I-2 Only)	(I-2 Only)
301.6.21.2 Patient Concentration	*****	(I-2 Only)	(I-2 Only)
301.6.21.3 Attendant-to-Patient Ratio	****	(I-2 Only)	(I-2 Only)
Building Score - Total Value	23.6	59.4	46.4

Mandatory Safety Score per Table 1301.8 (Occupancy: R)	21.0	38.0	38.0
Safety Score Delta	2.6	21.4	8.4
	PASS	PASS	PASS

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CORNERSTONE

PROGRESS PRINT

PROJECT
PENNSYLVANIA
ADULT AND TEEN
CHALLENGE
INTERIOR RENOVATION

436 NORTH LIME STREET LANCASTER, PENNSYLVANIA 17602

AND ALTERATIONS

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KEY PLAN

1001150

PROJECT PHASE

CONSTRUCTION

DOCUMENTS

PROJECT NUMBER 2024018

DATE

DRAWN BY

PB

SHEET TITLE

LIFE SAFETY
SCHEDULES & AREA

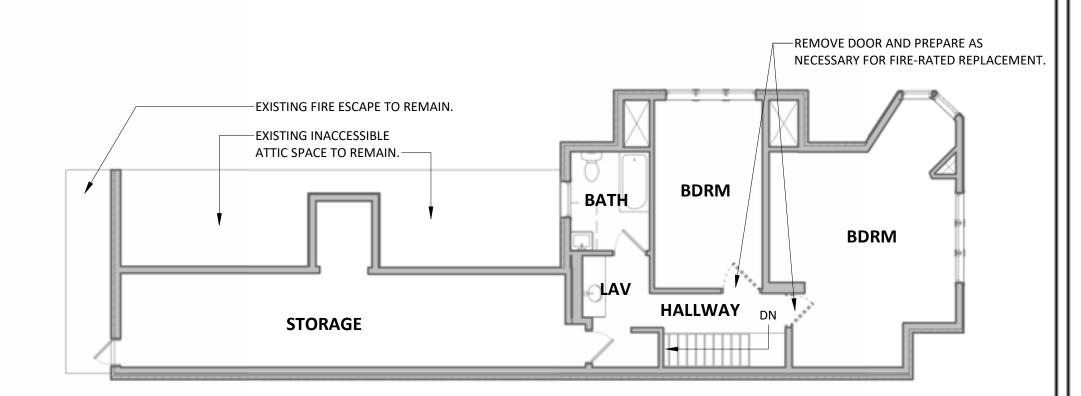
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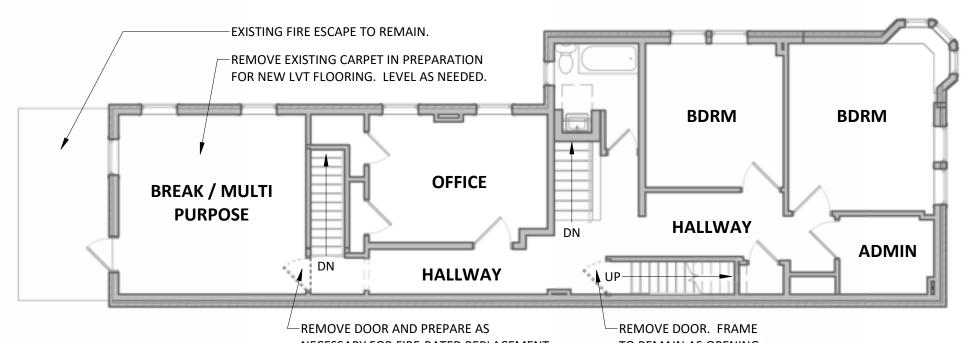
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DEMOLITION GENERAL NOTES

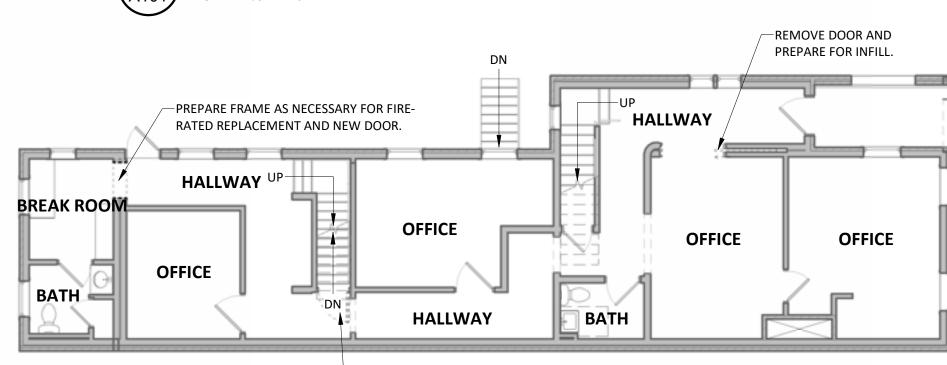
- ITEMS INDICATED TO BE DEMOLISHED SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF THE SITE
- BY THE RESPECTIVE CONTRACTOR. • ALL DEMOLITION WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, & FEDERAL CODES & REGULATIONS.
- CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- THE GENERAL CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR INSURING THE STRUCTURAL STABILITY OF THE EXITING STRUCTURE IN THE AREAS INVOLVING NEW WORK OR FOR PROTECTION THE EXISTING STRUCTURE FROM DAMAGE DURING THE COURSE OF WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING SHORING, BULKHEADS, AND ANY OTHER ITEMS NECESSARY FOR PROTECTION AND STABILITY. NO WORK THAT WILL JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE
- DONE WITHOUT CONSULTING THE ARCHITECT. • NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION AT EXTERIOR SURFACES SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL SECURE TEMPORARY
- CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATION SHALL
- BE REPAIRED AT HIS EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER OF THE PROPERTY SO • WHERE NEW OPENINGS ARE MADE OR EXISTING OPENINGS ARE INCREASED PROPER LINTELS MUST BE
- PROVIDED. • EACH CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND FAMILIARIZE HIMSELF WITH THE PROVISIONS
- REGARDING THE REMOVAL OF EXISTING MATERIALS. • THE RESPECTIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DEMOLITION OF
- EXISTING MECHANICAL, PLUMBING, ELECTRICAL AND OTHER EQUIPMENT AND OBJECTS SCHEDULED TO BE REMOVED.



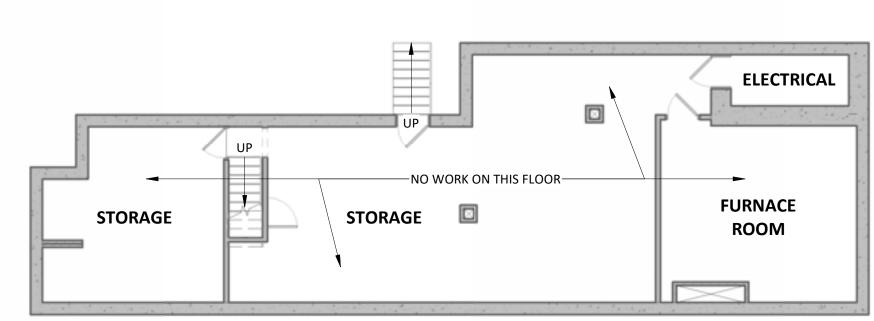
THIRD FLOOR DEMOLITION / ALTERATION PLAN SCALE: 1/8" = 1'-0"



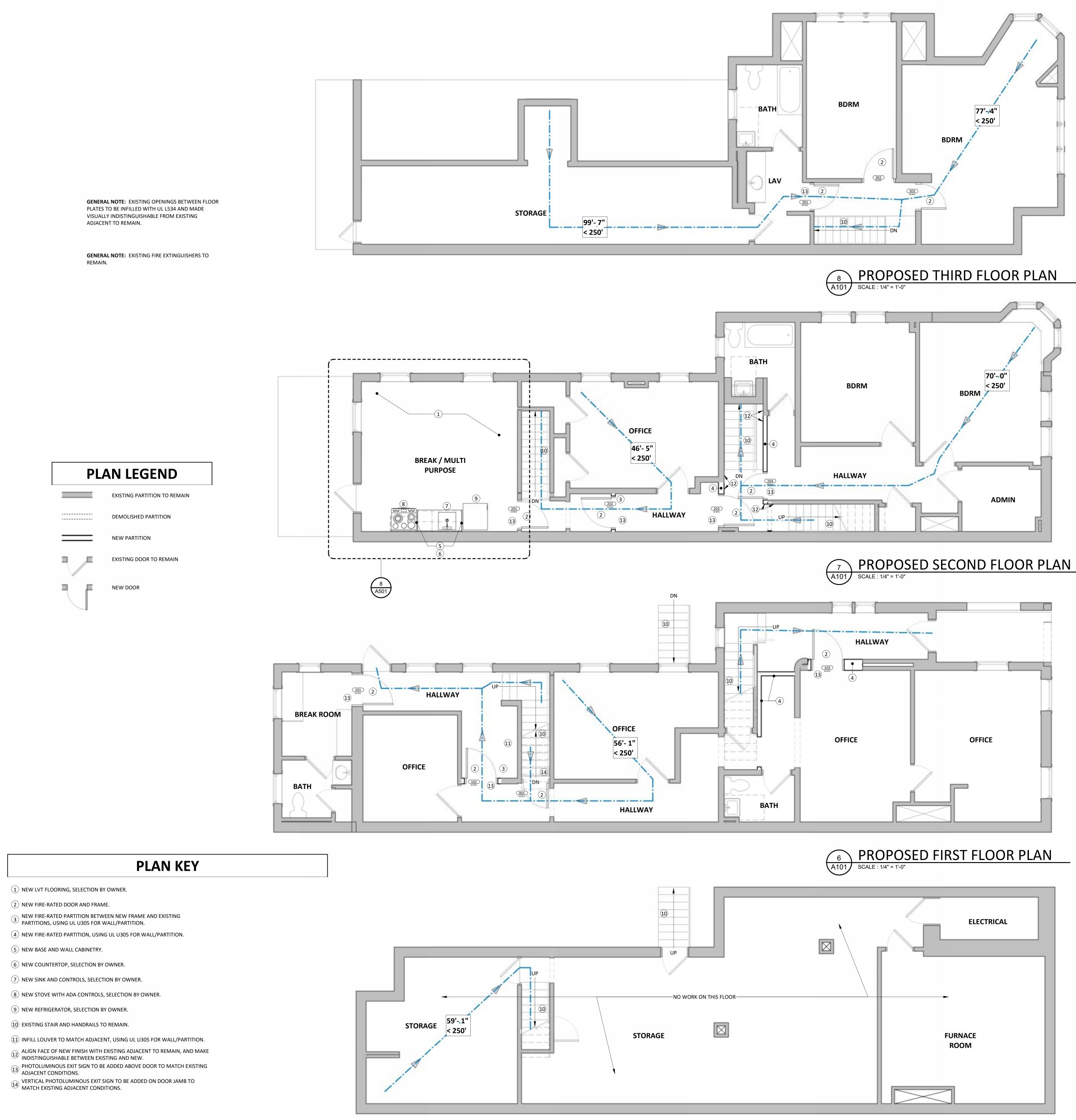
SECOND FLOOR DEMOLITION / ALTERATION PLAN



FIRST FLOOR DEMOLITION / ALTERATION PLAN



BASEMENT DEMOLITION / ALTERATION PLAN
SCALE: 1/8" = 1'-0"



CORNERSTONE DESIGN+ARCHITECTS 48-50 W. CHESTNUT STREET, SUITE 400 P.O. BOX 1786 LANCASTER, PA 17608

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KEY PLAN

PROJECT PHASE CONSTRUCTION

DOCUMENTS

DEMOLITION/ ALTERATION AND PROPOSED/ **ENLARGED FLOOR**

SHEET NUMBER

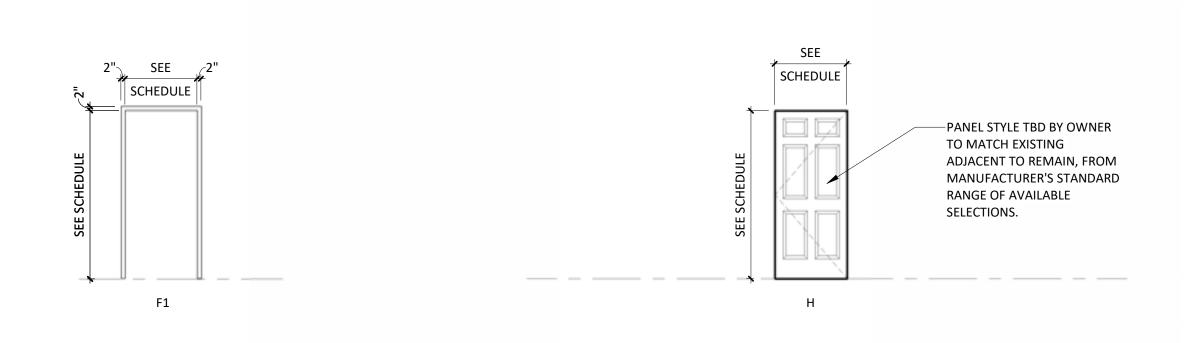
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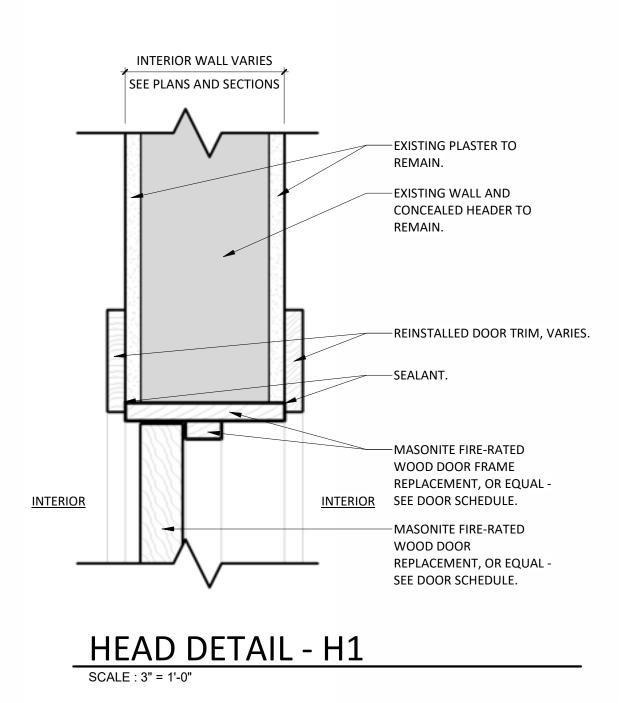
PROPOSED BASEMENT PLAN

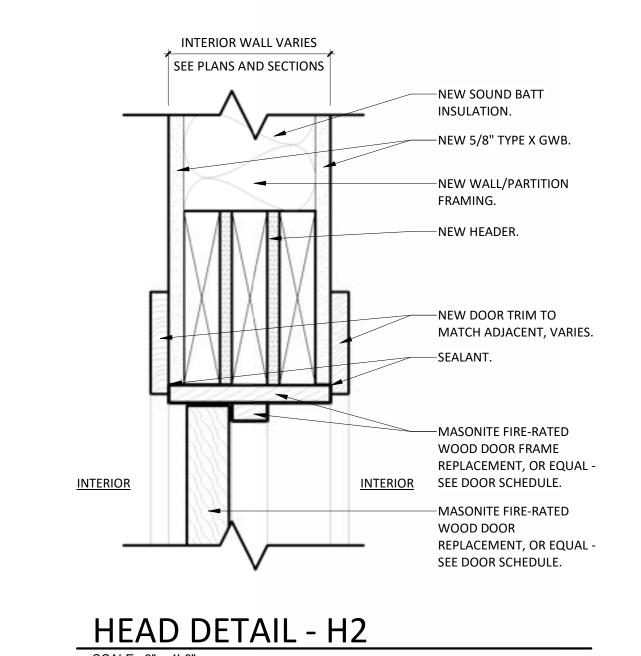
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DOOR FRAME TYPES

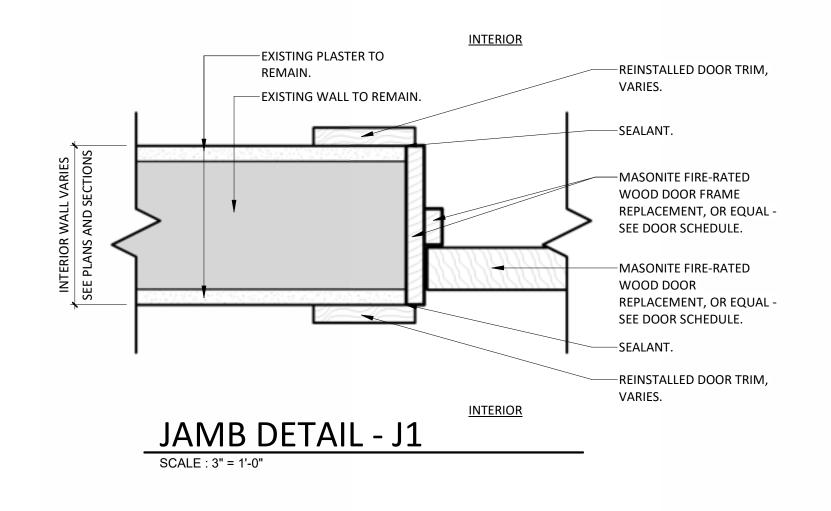
DOOR PANEL TYPES

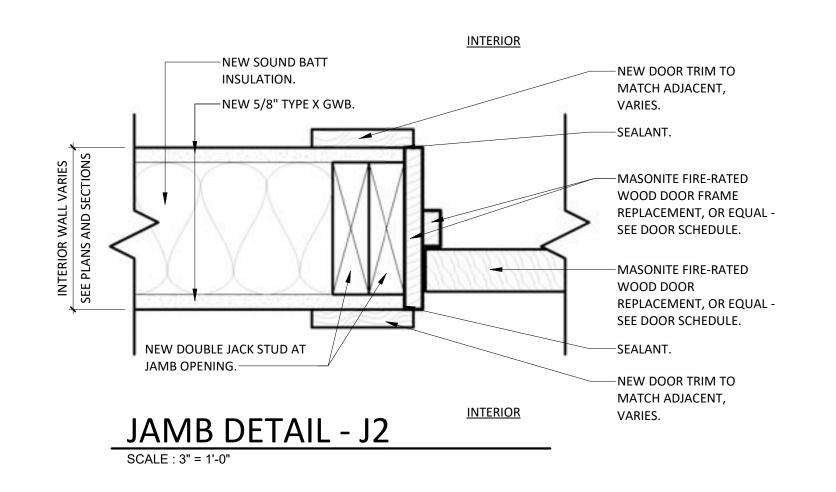




							DC	OR SC	HEDU	LE					
		DOOR DATA							FRAM	E DATA					
	DOOR DIM	ENSIONS									DETAILS				
	PANEL WIDTH	OTH HEIGHT											HARDWARE		
DOOR NUMBER	FIRST		IRST HEIGHT	PANEL TYPE	GLAZING TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	SET	FIRE RATING
FIRST FLOOR AR	EA PLAN		_										_		
001	2'-6"	6'-2"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
101	3'-0"	7'-6"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
102	3'-0"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
103	3'-0"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	2	60 MIN	MATCH EXISTING IN STYLE AND FINISH PROVIDE SAFETY FUNCTION FOR LOCK
SECOND FLOOR 185	AREA PLAN												(none)		
201	2'-8"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
202	3'-0"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
203	3'-0"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
204	2'-6"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H2	J2	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
THIRD FLOOR AF	REA PLAN														
301	2'-6"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	1	60 MIN	MATCH EXISTING IN STYLE AND FINISH
302	3'-0"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	3	60 MIN	MATCH EXISTING IN STYLE AND FINISH PROVIDE SAFETY FUNCTION FOR LOCK
303	2'-6"	6'-8"	Н	N/A	WD	PAINT	F1	WD	PAINT	H1	J1	NO CHANGE	3	60 MIN	MATCH EXISTING IN STYLE AND FINISH PROVIDE SAFETY FUNCTION FOR LOCK

	DOOR HARDWARE SCHEDULE													
	DOOR HARDWARE SCHEDULE SHOWN FOR DESIGN INTENT FOR DOOR FUNCTION AND CODE REQUIREMENTS. DOOR HARDWARE VENDOR SHALL CONFIRM ALL DOOR HARDWARE FUNCTIONS AND KEYING WITH OWNER BEFORE INSTALLATION.													
		DOOR LOCKSET					EXIT DEVICE	EXIT DEVICE	EXIT DEVICE			SEAL KITS		
NUMBER	ROOM FUNCTION	FUNCTION	HARDWARE FINISH	HINGE TYPE	STOP TYPE	CLOSER	(PANIC)	(FIRE)	SILENCER	CYLINDER	SMOKE SEAL KIT	SOUND ISOLATION KIT	COMMENTS	
1	BREAK / HALLWAY	PUSH / PULL	BRASS	BUTT HINGES	WALL	YES	-	-	YES	NO	YES	-	MATCH EXISTING IN STYLE AND FINISH.	
2	OFFICE	PRIVACY	BRASS	BUTT HINGES	WALL	YES	-	-	YES	YES	YES	_	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.	
3	BEDROOM	PRIVACY	BRASS	BUTT HINGES	WALL	YES	-	-	YES	YES	YES	_	MATCH EXISTING IN STYLE AND FINISH. PROVIDE SAFETY FUNCTION FOR LOCK.	





INTERIOR ELEVATION KEY

(1A) PLUMBING FIXTURE, SELECTION BY OWNER

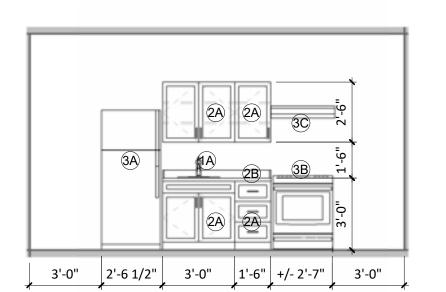
2A) PLASTIC LAMINATE MILLWORK CABINETS, WITH MATERIALS AND FINISHES BY OWNER

PLASTIC LAMINATE COUNTERTOP W/ SIDE/BACKSPLASH PER INTERIOR ELEVATIONS, WITH MATERIALS AND FINISHES BY OWNER

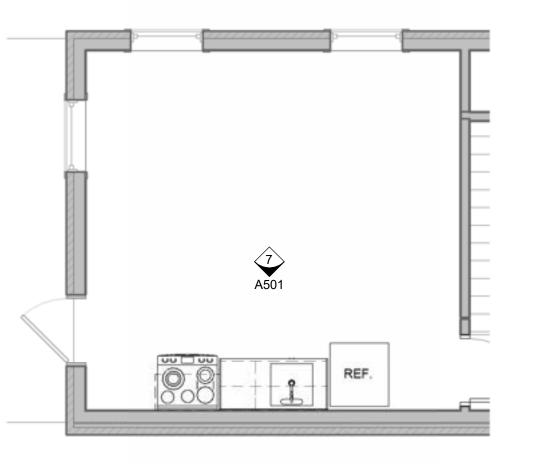
(3A) REFRIGERATOR BY OWNER

3B) STOVE BY OWNER

3C) HOOD BY OWNER









INTERIOR ELEVATION GENERAL NOTES

GENERAL INTERIOR ELEVATIONS NOTES:

• CHECK AND VERIFY THAT ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING

WITH THE WORK.

• DIMENSIONS ARE FROM FACE OF GWB OR EXPOSED MASONRY UNO. • THOSE DIMENSIONS WHICH REQUIRE FIELD VERIFICATION ARE IDENTIFIED WITH +/-. DIMENSIONS NOT

SO NOTED ARE INTENDED TO BE HELD. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION OF BUILDING COMPONENTS. • WHERE DISCREPANCIES OCCUR BETWEEN VARIOUS DRAWINGS OBTAIN CLARIFICATION FROM THE

ARCHITECT BEFORE PROCEEDING WITH THE WORK. ID DRAWING DIMENSIONS ON CASEWORK SUPERSEDE ARCHITECTURAL DRAWINGS.

• WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE CONSTRUCTION IN A SOUND, WORKMANLIKE MANNER CONSISTENT WITH THE OTHER DETAILING SHOWN.

PROVIDE 18 GA BLOCKING OR METAL STRAPPING WITHIN PARTITIONS AND EXISTING PARTITIONS AT ALL

WALL MOUNTED CASEWORK, FURNISHINGS, EQUIPMENT, ACCESSORIES AND STANDARDS. PROVIDE TREATED WOOD BLOCKING AT WET LOCATIONS.

• UNSUPPORTED COUNTERTOPS AND KNEE SPACES SHALL HAVE INTERMEDIATE SUPPORTS, UNO. THE MAXIMUM SPAN FOR PLAM COUNTERTOPS LESS THAN OR EQUAL TO 24 INCHES DEEP IS 4 FEET 0

INCHES OC. PROVIDE SCRIBES FOR CABINET DOOR CLEARANCES AND FOR ALIGNMENT OF CABINETS. ALL SCRIBES SHALL BE FINISHED TO MATCH CABINET BODY.

• REFER TO ID DRAWINGS FOR ALL FINISHES AND FINISH NOTES **ARCHITECTURAL WOODWORK GENERAL NOTES:**

• CABINETS SHALL RECEIVE RESILIENT BASE TO MATCH ADJACENT WALL BASE, UNO.

• COUNTERTOPS SHALL RECEIVE GROMMETS WHERE ELECTRICAL, TELEPHONE, DATA, AND/OR OTHER CONNECTIONS ARE LOCATED BELOW THE COUNTERTOP. QUANTITY AND SPACING SHALL BE AS DIRECTED

• WALL CABINET BOTTOMS SHALL BE FLUSH TO ALLOW FOR CONTINUOUS TASK LIGHT INSTALLATION.

CONCEAL CONDUIT AND WIRING CONNECTION. • PROVIDE SPECIFIED CONCEALED BLOCKING AT ALL WALL MOUNTED ARCHITECTURAL WOODWORK,

CASEWORK, FURNISHINGS, EQUIPMENT, ACCESSORIES, AND STANDARDS. • SHELVES IN WALL AND BASE CABINETS SHALL BE ADJUSTABLE AND 1 INCH LESS THAN THE CLEAR DEPTH

OF THE CABINET, UNO. PROVIDE ONE (1) PLAM SHELF IN ALL BASE AND WALL CABINETS, UNO. • SHELVES SHALL BE 3/4 INCH THICK WITH PLAM OR MELAMINE. TYPICAL SHELVES OVER 3 FEET 0 INCHES

LONG SHALL BE 1 INCH THICK WITH A MAXIMUM LENGTH OF 8 FEET 0 INCHES. ADJUSTABLE SHELVES SHALL BE NOTCHED FOR AND RECEIVE SUPPORTS.

• UNSUPPORTED COUNTERTOPS AND KNEE SPACES SHALL HAVE INTERMEDIATE SUPPORTS, UNO. THE MAXIMUM SPAN FOR PLAM COUNTERTOPS LESS THAN OR EQUAL TO 24 INCHES DEEP IS 4 FEET 0

INCHES OC. PROVIDE SCRIBES FOR CABINET DOOR CLEARANCES AND FOR ALIGNMENT OF CABINETS. ALL SCRIBES SHALL BE FINISHED TO MATCH CABINET BODY.

• WALL CABINET DOORS TO VERTICALLY ALIGN WITH BASE CABINET DOORS, UNO. • DOUBLE DOORS ON CABINET BODY SHALL BE EQUAL IN SIZE, UNO.

• CABINET FRAMING SHALL BE 3/4 INCH THICK MATERIAL AS SPECIFIED. CABINET FRAMING AT ALL WET AREAS SHALL BE 3/4 INCH THICK MOISTURE RESISTANT MATERIAL AS SPECIFIED.

• CABINET DOORS, DRAWER FRONTS, SHELVES, AND ACCESS PANELS SHALL HAVE EDGEBANDING TO MATCH COUNTER SURFACE MATERIAL. • CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK.

NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH

THE WORK.

• DIMENSIONS ARE FROM FACE OF EXPOSED FINISH, UNO.

• DIMENSIONS IDENTIFIED WITH A +/- REQUIRE FIELD VERIFICATION. DIMENSIONS NOT SO NOTED ARE INTENDED TO BE HELD.

• COORDINATE FABRICATION OF ARCHITECTURAL WOODWORK WITH CONTRACTOR AND OWNER

SUPPLIED EQUIPMENT.

• WHERE DISCREPANCIES OCCUR BETWEEN VARIOUS DRAWINGS OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

• WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE WORK IN A SOUND WORKMANLIKE MANNER

CONSISTENT WITH OTHER DETAILING SHOWN. PROVIDE CONTINUOUS COLOR MATCHED MILDEW RESISTANT SILICONE SEALANT AT ALL COUNTERTOPS AND SPLASHES. SEAL GAPS UNDER COUNTERTOP BETWEEN CABINETRY.

INTERIOR GENERAL NOTES

• ELECTRICAL ENGINEER AND/OR LIGHTING DESIGNER TO PROVIDE ALL NECESSARY/GENERAL LIGHTING FIXTURES AND LOCATIONS. ALL GENERAL LIGHTING DESIGNED BY THE ELECTRICAL ENGINEER TO MEET THE REQUIREMENTS OF THE 2015 IECC SECTION 405, INTERIOR LIGHT CALCULATIONS AND CONTROLS.

• NECESSARY BLOCKING AND STRUCTURAL SUPPORT FOR LIGHTING FIXTURES TO BE PROVIDED BY THE GENERAL CONTRACTOR.

• ONLY DECORATIVE LIGHTING IS PROVIDED BY CORNERSTONE DESIGN ARCHITECT'S. DECORATIVE LIGHTING SPECIFICATIONS BY CORNERSTONE DESIGN ARCHITECT'S ARE A GUIDE FOR STYLE AND LIMITED

TO SPECIAL APPLICATIONS.

FINISH NOTES: • PRODUCT INSTALLATION & FINAL SURFACE PREPARATION OF ALL FINISH PRODUCTS SHOWN ON FINISH PLANS AND SCHEDULES SHALL FOLLOW MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND INSTALLERS SHALL USE MANUFACTURER'S RECOMMENDED ADHESIVE TO ENSURE FULL PRODUCT WARRANTIES. MANUFACTURER'S INSTALLATION INSTRUCTIONS HAVE PRIORITY OVER INTERIOR DESIGN DRAWINGS. PRIOR TO INSTALLING FLOORING PRODUCTS, INSTALLER SHALL REFER TO THE

MANUFACTURER'S WRITTEN INSTRUCTIONS FOR GUIDELINES REGARDING ALLOWABLE MOISTURE AND PH LIMITS FOR THEIR PRODUCTS. THE MOISTURE VAPOR EMISSION RATE, RELATIVE HUMIDITY & ALKALINITY TESTING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF ASTM F 1869, ASTM F2170, ASTM F710 TO GIVE AN ACCURATE ASSESSMENT OF THE CONCRETE CONDITION AND

THE TEST RESULTS/DATA OF EACH TEST SHALL BE WITHIN ACCEPTABLE LIMITS.

• PRIVACY SCREENS AND TOILET PARTITIONS IN MEN'S TOILET AND WOMEN'S TOILET TO BE POWDER COATED METAL PARTITIONS. COLOR: TBD. TOILET ROOM WET WALLS SHALL HAVE A SMOOTH, HARD,

NONABSORBENT SURFACE, AS REQUIRED.

• ALL CEILINGS WITH EXPOSED CONSTRUCTIONS TO BE PAINTED. • ALL WALLS TO BE PAINTED UNLESS NOTED OTHERWISE. SEE FINISH PLAN.

 ALL DOOR AND WINDOW FRAMES TO BE ______ SEMI-GLOSS FINISH. • VINYL OR RUBBER WALL BASE THROUGHOUT PROJECT UNLESS NOTED OTHERWISE. • CARPET WALL BASE TO BE INSTALLED IN ROOMS ______, AS NOTED IN THE ROOM FINISH

SCHEDULE. FLOORING INSTALLER SHALL ENSURE THAT THE CARPET WALL BASE HAS THE MANUFACTURER'S RECOMMENDED COORDINATING COLOR TOP RIBBON. CARPET WALL BASE SHALL BE

• ALL INTERSECTIONS OF FLOORING MATERIALS IN DOORWAYS SHALL OCCUR UNDER CENTERLINE OF

• AT ALL INTERSECTIONS OF ONE CARPET TO ANOTHER, PARTICULARLY IN DOORWAYS, THE SEAMS SHALL

BE SEAM-SEALED. • ALL MINOR SPACES, I.E. CLOSETS AND ALCOVES, SHALL HAVE THE SAME FINISH AS THE ROOMS IN

WHICH THEY ARE LOCATED. • RESILIENT FLOOR SEAMS SHALL RECEIVE THE HEAT WELD ROD COLOR AS RECOMMENDED BY THE

MANUFACTURER. • AT ALL OCCURRENCES OF SHEET MATERIAL TO CARPET OR VCT, A TRANSITION PROFILE, SHALL BE USED UNLESS THE SHEET OR LVT IS SAME THICKNESS AS THE CARPET. AT ALL OCCURRENCES OF FLOORING TO

SUBFLOOR, A TRANSITION PROFILE SHALL BE USED. COLOR: TBD. SEE FINISH LEGEND AND FINISH

SCHEDULE FOR MORE INFORMATION. • FOR PAINT COLOR LOCATION ON CEILING SOFFITS AND BULKHEADS REFER TO ARCHITECTURAL REFLECTED CEILING PLANS (TBD).

• CMU MASONRY WALLS SHALL RECEIVE EPOXY PAINT. • CERAMIC TILE / CARPET TRANSITIONS SHALL RECEIVE A SCHLUTER TRANSITION - STYLE TBD BY GC;

COLOR - BRUSHED NICKEL OR BRUSHED CHROME LOOK. CERAMIC, GLASS, AND STONE TILE SHALL BE INSTALLED PER THE CURRENT VERSION OF TCNA HANDBOOK FOR CERAMIC, GLASS, AND STONE TILE INSTALLATION.

• GC TO PROVIDE GLASS-MAT SHEATHING WHERE CERAMIC, PORCELAIN, STONE, OR GLASS TILES ARE INDICATED TO BE INSTALLED. ALL GROUT SHALL BE SEALED A MINIMUM OF TWO TIMES. GROUT COLORS ARE NOTED IN ROOM FINISH LEGEND. ALL EXPOSED EDGES SHALL RECEIVE A SCHLUTER TRIM IN

A BRUSHED NICKEL OR BRUSHED CHROME LOOK. • ALL STONE VENEER MUST BE INSTALLED PER LATEST OR CURRENT MVMA GUIDE AND ANSI A118 OR ANSI A118.5. GC TO CHOOSE A MATCHING MORTAR COLOR WHEN MORTAR IS SPECIFIED; VERIFY WITH OWNER AND INTERIOR DESIGNER.

CORNERSTONE DESIGN+ARCHITECTS 48-50 W. CHESTNUT STREET, SUITE 400 P.O. BOX 1786 LANCASTER, PA 17608

PROGRESS

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PENNSYLVANIA ADULT AND TEEN

CHALLENGE INTERIOR RENOVATION AND ALTERATIONS

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KEY PLAN

PROJECT PHASE CONSTRUCTION DOCUMENTS

PROJECT NUMBER

APPROVED BY

SHEET TITLE **DOOR & HARDWARE** SCHEDULE, DOOR &

FRAME TYPES

SHEET NUMBER **A501**